

SPECIAL USE EXCEPTION PETITION REVIEW REPORT

Petition Number: Z 20-06

Petitioner: Jonathan Hendrix
1341 Sunny Slope Dr.
O'Fallon, MO 63366

Agent: None

Project Name: BeerSauce Shop

Requested Action: Special Use Exception for
Restaurant Use
Alcohol Provision
Front Yard Parking

Public Hearing Date: August 3, 2020

Code Section: Appendix A, Art. IX, Art. XIV

Location: 14738-B Manchester Rd

Existing Land Use/Zoning: Commercial/ C-1

Surrounding Land Use/Zoning: North – Commercial/ C-1
South - Commercial/ C-1
West - Commercial/ C-1
East - Commercial/ C-1

Plan Designation: Commercial/Restaurant/Bar

Project Description:

Mr. Hendrix is requesting approval for a Special Use Exception for a restaurant with the sale of alcohol for consumption on-site and off-site, and permission to utilize the Front Yard Parking available to tenants at Triple H Farms Plaza.

Zoning Ordinance Requirements Appendix A, Article IX (Commercial/ C-1 District):

- Article IX, Section 1 is a general introductory statement and imposes no design or plan requirements so it is not germane to this review.
- Art. IX, Sec. 2 establishes uses allowed by right in the C-1 district. The use contemplated in this petition is restaurant use and sale of alcohol, neither of which are immediately permitted, but this issue is superseded through a Special Use Exception as provided by the Planning and Zoning Commission. Specifically, Art. XIV, Sec. 1 (20), which permits restaurant use, and Art. XIV, Sec. 1 (21), which permits the sale of alcohol in C-1 zoned districts.
- Art. IX, Sec. 3 establishes a height limitation of 45.’ The proposal at hand is not proposing any change to the currently approved architecture.
- Art. IX, Sec. 4 (1) establishes a front yard depth of not less than 40.’ except for: Art. XI, Sec. 4 (1) (iii) Land lying along Manchester Rd, along which a front yard is required to have a depth of 20’ with no parking to be allowed.
- Art. IX, Sec. 4 (2) establishes no requirement for a side yard, so long as the location does not adjoin with a dwelling, dwelling district, or any public activity district.
- Art. IX, Sec. 4 (3) establishes a rear yard depth of not less than 25.’ The proposal at hand is not proposing any change to the currently approved architecture.
- Art. IX, Sec. 4 (4) refers to improvement of a C-1-zoned parcel with single-family dwellings, and is not pertinent to this evaluation.
- Art. IX, Sec. 5 (1) refers to off street parking and loading spaces, requiring that it comply with Article XV. The site development plan for Triple H Farms was in full compliance with the minimum parking requirements of the zoning regulations when it was built. There has been no change to the parking requirements since that time. The parking allocation for restaurants is 1 space per 200 sq. ft. of gross floor area or 1 space for every 4 seats, whichever is greater.

The location holds 2,605 square feet, and 30 seats.

$2605/200 = 13.025$, or $30/4 = 7.5$.

By this calculation, approximately 13 spaces in this parking lot are allocated to this particular suite. The parking area for Triple H Farms Plaza provides approximately 100 spaces. The plaza currently has a few vacancies, but if you consider their previous tenants, the location generally attracts restaurants and a variety of services for medical purposes, pet care, or electronics repair. Restaurant and Retail: 1 parking space per 200 sq ft/ Medical Service: 1 parking space per 250 sq ft.

Phone Repair: Approx. $1750 \text{ sq ft}/200 = 8.75$ or 9 spaces
Chiropractor: Approx. $1750 \text{ sq ft}/250 = 7$ spaces
Dog Grooming: Approx. $1750 \text{ sq ft}/200 = 8.75$ or 9 spaces
Nail Salon: Approx. $1750 \text{ sq ft}/200 = 8.75$ or 9 spaces
Restaurant: Approx. $1750 \text{ sq ft}/200 = 8.75$ or 9 spaces
Barber: Approx. $1750 \text{ sq ft}/200 = 8.75$ or 9 spaces
Jeweler: Approx. $1750 \text{ sq ft}/200 = 8.75$ or 9 spaces
Hearing Aid Provider: Approx. $2000 \text{ sq ft}/250 = 8$ spaces

Total required parking spaces for these aggregate locations would be approximately 69 spaces; including BeerSauce, 82 spaces would be required. The plaza has adequate parking.

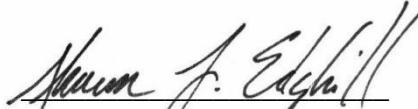
- Art. IX, Sec. 5 (2) refers to parking for shopping centers, plazas and office complexes with two or more tenants and more than 100,000 square feet, and is not pertinent to this evaluation.
- Art. IX, Sec. 6 is not applicable to this petition because no change to the Manchester Road curb cut is proposed by the petitioner.
- Art. IX, Sec. 7 (1) requires that the minimum spacing of curb cuts is to be 500' between centerlines. No change is proposed by the petitioner.
- Art. IX, Sec 7 (2) requires the construction of a 6' wide sidewalk along Manchester Road. This sidewalk was constructed when the plaza was initially built.
- Art. IX, Sec. 7 (3) requires that commercial parking lots be interconnected or that a cross access, driveway/parking lot vehicular interconnection easement" be established to the benefit of Ballwin to allow a future parking lot interconnection with adjoining properties, No change to the previously approved site plan is proposed by the petitioner.

Zoning Ordinance Requirements/SUE Regulations
Appendix A, Article XIV

- Article XIV, Section 2 (1) refers to minimum yard requirements, which appear to have been met by this proposal.
- Art. XIV, Sec. 2 (2) refers to site illumination. The submitted site development plan shows no changes to the existing site illumination plan which was initially approved as part of the original site development plan in 2000.
- Art. XIV, Sec. 2 (3) refers to greenery and planting. No change to the existing approved landscaping is proposed.
- Art. XIV, Sec. 2 (4) refers to fencing. No change to the fencing on the site is proposed.
- Art. XIV, Sec. 2 (5) refers to parking. Parking was discussed earlier in this report under Art. IX, Sec. 5 (1). It is unlikely that the proposed use will require more than the currently provided 168 spaces.
- Art. XIV, Sec. 2 (6) refers to pavement. No changes to any pavement is proposed as a part of this petition.
- Art. XIV, Sec. 2 (7) refers to storm water runoff control. No changes to the impervious nature of the site or the existing storm water collection and detention systems is proposed as a part of this petition.
- Art. XIV, Sec. 2 (8) refers to loading docks and facilities. No dedicated loading spaces are necessary for this use.
- Art. XIV, Sec. 2 (9) refers to ingress and egress at the site. No. proposed changes to the site's existing curb cuts are proposed by the petitioner.
- Art. XIV, Sec. 2 (10) refers to adequate area for the use. The amended site development plan provides evidence that it has sufficient parking to meet the needs propagated by the use proposed for the site.
- Art. XIV, Sec. 2 (11) refers to dead storage, dismantling, and the repair of automobiles. This is not an issue, given the proposed use, and Ballwin has regulations in place to address this problem should it occur.
- Art. XIV, Sec. 2 (12) refers to rubbish and trash disposal and screening. The use proposed does not appear to be one that would generate substantial trash. There is an existing dumpster location in the rear of the building.

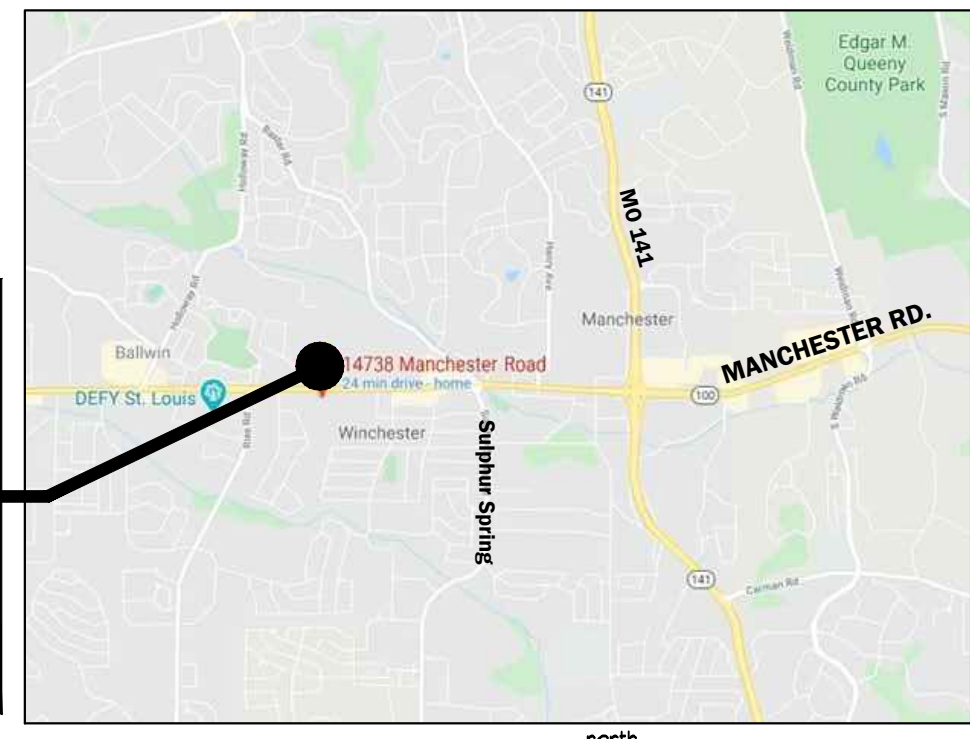
Staff Recommendation:

Staff has no objection to this petition.



Shawn Edghill
Planning Technician

The BeerSauce Shop - Ballwin
14738 B Manchester



1 Vicinity Map
No Scale

Project Certification

I, Patrick J. Jugo, hereby specify pursuant to RS MO 827.411 that the documents intended to be authenticated by my seal are limited to:

A0 & A1

and I hereby disclaim any responsibility for all other drawings, specifications, reports or other documents/instruments relating to or intended to be used for any part or parts of this project.

Patrick J. Jugo _____ Date _____

2 Project Certification
No Scale

Renovations to :
14738 B Manchester Rd
Ballwin, MO 63011

Building Owner: Triple H Plaza LLC
316 Arbpr Glen Dr.
Ballwin, MO 63011

Building Tenant: BeerSauce Shop Ballwin, LLC
1341 Sunny Slope Dr.
O'fallon, MO 63366

Drawing List

- A0 Title Sheet, Code Block & Site Plan
- A1 First Floor Plan & RCP

Code Block

Municipality: City of Ballwin
Fire District: Metro West Fire Protection District

Building Codes

ARCHITECTURAL: 2015 International Building Code
FIRE: 2015 International Fire Code
MECHANICAL: 2015 International Mechanical Code
PLUMBING: 2015 Uniform Plumbing Code
ELECTRICAL: 2014 National Electric Code

Building Data

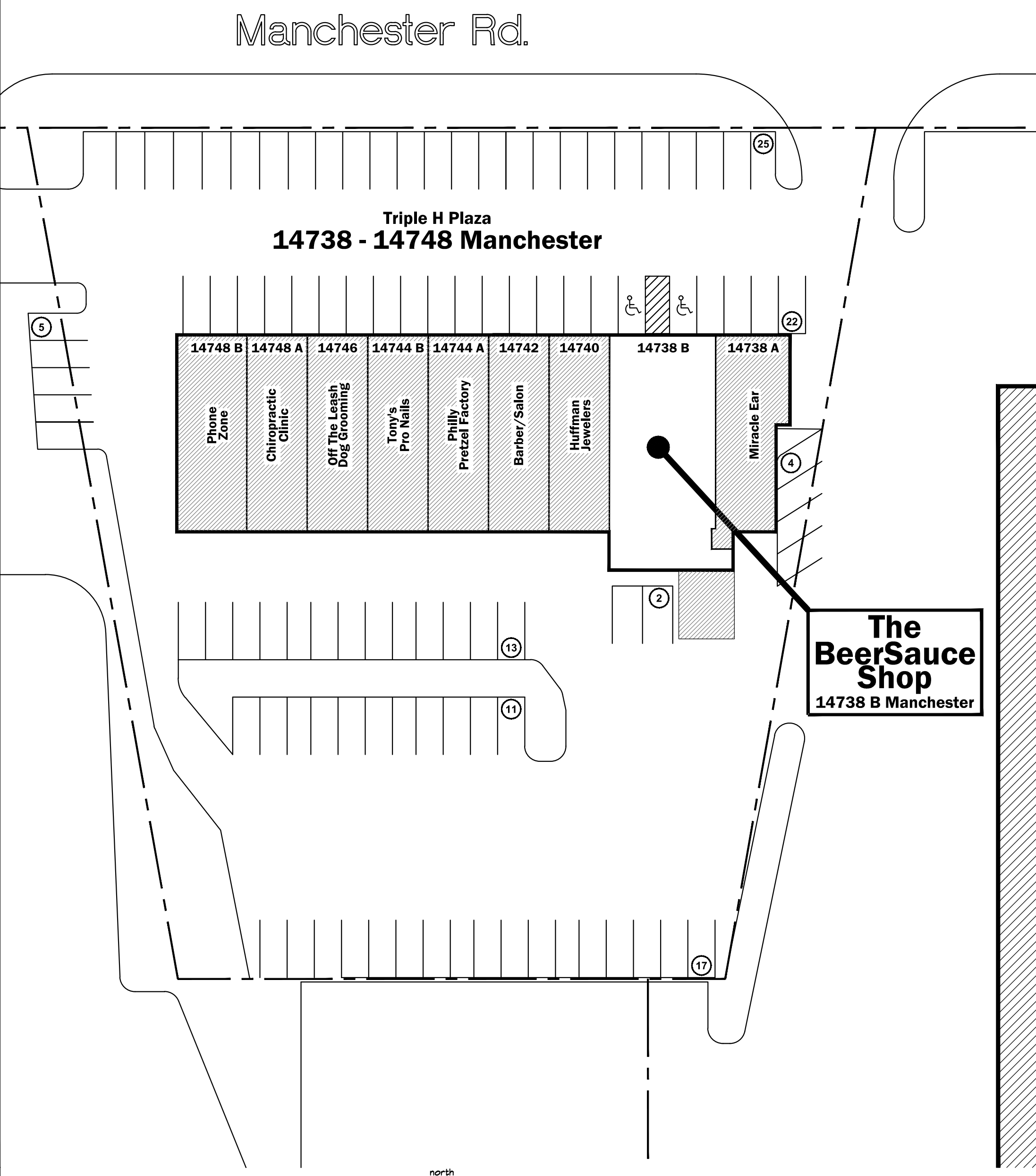
USE GROUP: Mercantile - M
CONSTRUCTION: Type II B unprotected (Non-sprinkled)

**Triple H Plaza
14738 - 14748 Manchester
Building Limitations**

	ACTUAL	ALLOWABLE
BUILDING HEIGHT (table 503)	1 ST. / varies - max ± 24'-0" to top of Parapet	2 ST. / 55'-0"
BUILDING AREA (table 503)	1st Floor: 12371 s.f. Lower Level: 3975 s.f.	19,000 s.f. / floor (Table 506.2)

14738 B Manchester - Occupant Load

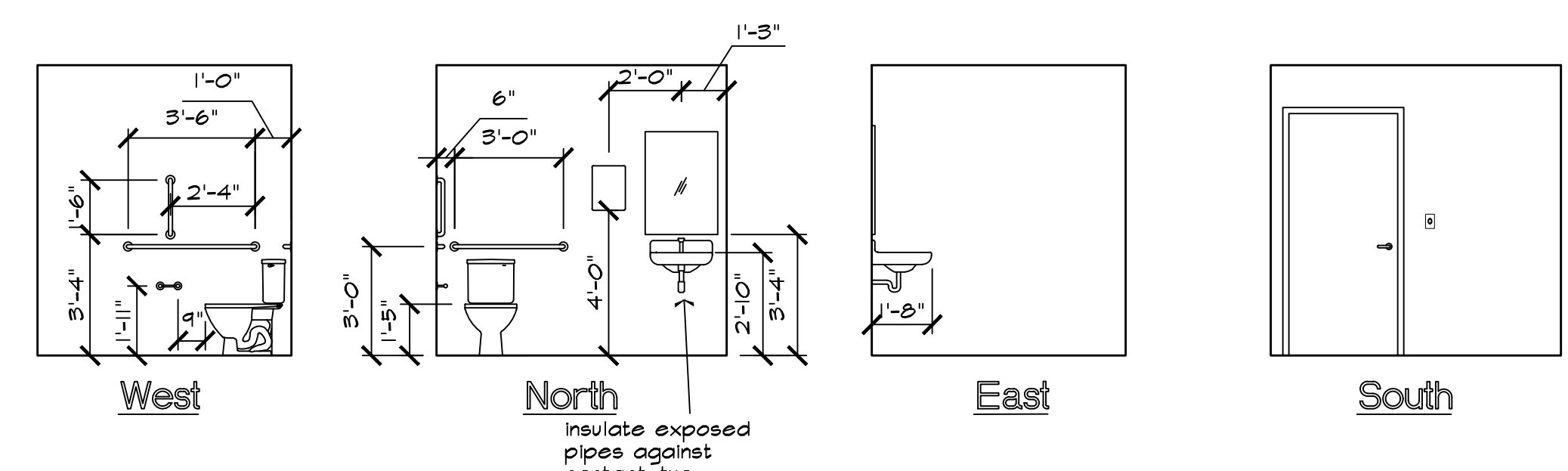
Location	Use	Area (S.F.)	Occ. Load Factor	Occ. Load
14738 B Manchester	Gross Tenant Area	2805 sf	-	-
Occupant Load	Retail Sales	1620 sf	60 gross	27
	Assembly - Concentrated - <small>Chairs/Tables</small>	62 sf	7 net	9
	Assembly - Unconcentrated - <small>Tables/Chairs</small>	280 sf	15 net	19
	Food Prep	275	200 gross	2
			Total Occupants	57



3 Architectural Site Plan
30'-0" = 1"

5 Code Block
No Scale

NOTE: Provide FR 2x wood blocking in stud cavity as req'd for installation of all accessories, typ.



4 Elevations • ADA Toilet 115
1/4" = 1'-0"

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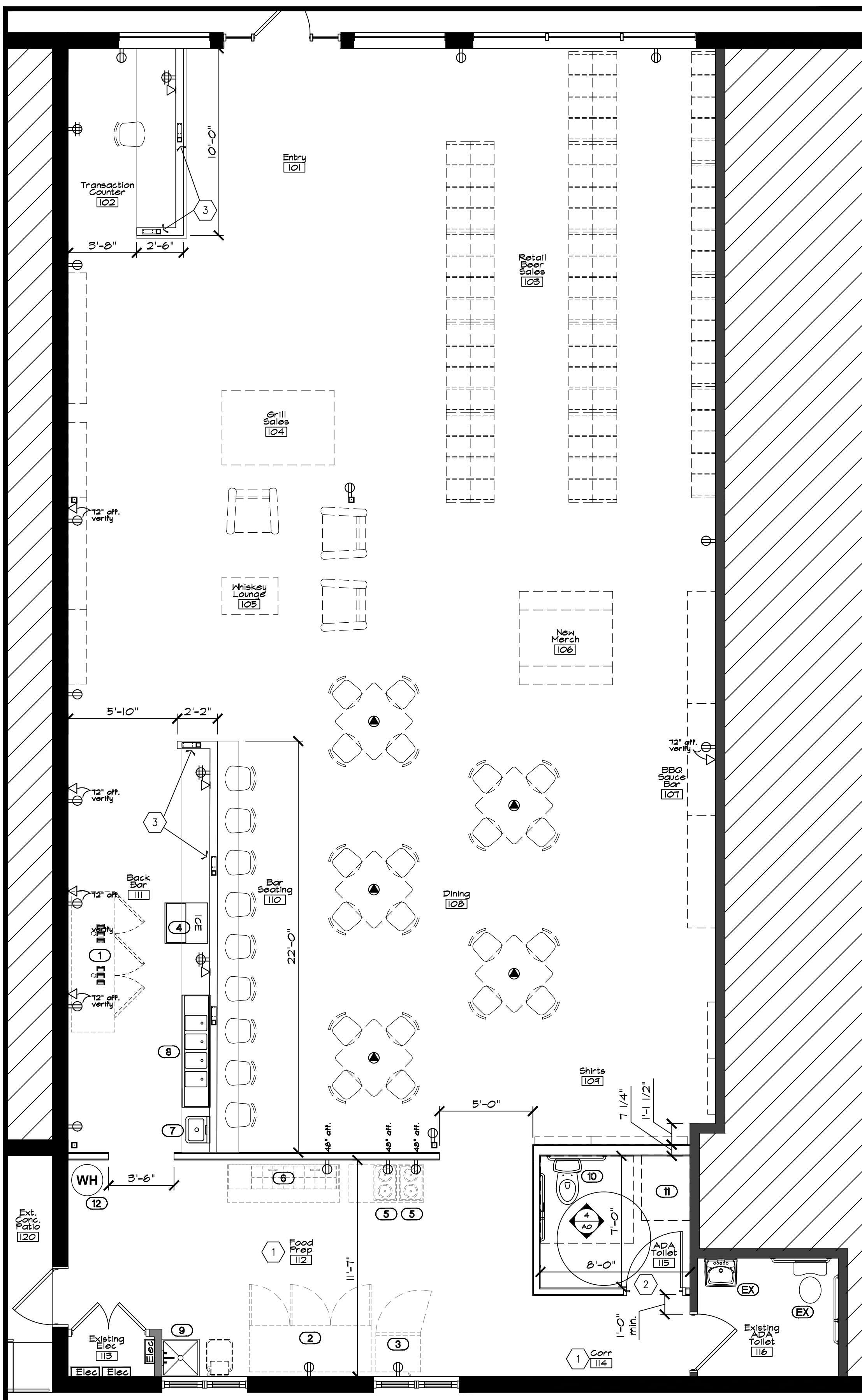
JugoPlus
Architects, L.L.C.
7310 Vine Ave, Maplewood, MO 63143
ph/fx 314.781.9303

No.	Revision Description	Date

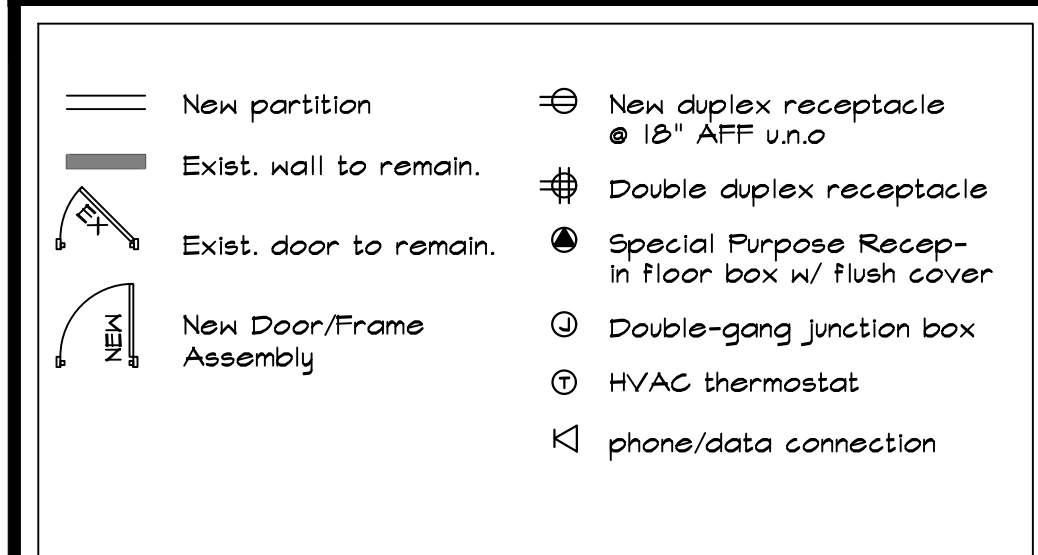
Renovations for :
BeerSauce Shop Ballwin, LLC
14738 B Manchester Rd.
Ballwin, MO 63011

SHEET:
A0
PROJECT NO.
20004
DATE:
07/14/20

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1 14738 B Manchester - First Floor Plan
1/8" = 1'-0"



2 Floor Plan Legend
No Scale

Floor Plan General Notes

- Unless otherwise noted, all NEW partitions will be 3 5/8" metal studs @ 16" o.c., fir to structure above, with (1) layer 5/8" drywall ea side
- All 2x blocking and nailers on/n new partitions will be Fire Retardant

Floor Plan Keyed Notes

- 3'-0" x 7'-0" x 1 3/8" wood raised panel, pre-hung door (to match exist. door) w/ Privacy lockset & ADA lever handle, closer & fir stop
- Counter half-walls to be 3 5/8" metal studs @ 16" o.c., top/bottom tracks, (1) layer 5/8" drywall ea side, and cont. FR, 2x4 blocking at top track. Install steel half-wall stiffeners @ 2'-0" o.c. min, sim to Pittcon KneeWall Brace SKB, Clark/Dietrich 'Pony Wall', or equal.

3 Floor Plan Keyed Notes
No Scale

ROOM FINISH SCHEDULE

Rm #	Room Name	Floor Finish	Base Finish	Wall Finish				Notes
				N	S	E	W	
101	Entry	VCT	V	PT-1	n/a	n/a	n/a	-
102	Transaction Counter	VCT	V	PT-1	n/a	PT-1	ExBr	stainless counter
103	Retail Beer Sales	VCT	V	PT-1	n/a	PT-1	n/a	-
104	Grill Sales	VCT	V	PT-1	n/a	n/a	n/a	-
105	Whiskey Lounge	VCT	V	n/a	n/a	n/a	n/a	-
106	New Merch	VCT	V	n/a	n/a	PT-1	n/a	-
107	BBQ Sauce Bar	VCT	V	n/a	n/a	PT-1	n/a	stainless counter
108	Dining	VCT	V	n/a	n/a	n/a	n/a	stainless 4-top tables
109	Shirts	VCT	V	n/a	PT-1	PT-1	n/a	-
110	Bar Seating	VCT	V	n/a	n/a	n/a	n/a	-
111	Back Bar	VCT	V	n/a	PT-1	n/a	ExBr	stainless counters
112	Food Prep	VCT	V	FRP	FRP	FRP	FRP	-
113	Existing Electrical	VCT	V	PT-1	PT-1	PT-1	PT-1	-
114	Corridor	VCT	V	FRP	FRP	FRP	n/a	-
115	ADA Toilet	VCT	V	PT-1	PT-1	PT-1	PT-1	-
116	Existing ADA Toilet	VCT	V	PT-1	PT-1	PT-1	PT-1	-
117	Ext. Concrete Patio	VCT	V	n/a	n/a	n/a	n/a	-

Materials

ExBr Exposed brick masonry with tooled mortar joints
 FRP Fiber-Reinforced Polymer sheet system fully adhered with integral trim - full height
 PT-1 Paint finish - latex primer/finish - colors and sheens to be determined by owner
 V Resilient Vinyl Cove Base w/ standard toe/cove
 VCT Vinyl Composite Tile in adhesive to conc. slab

4 Room Finish Schedule & Materials
No Scale

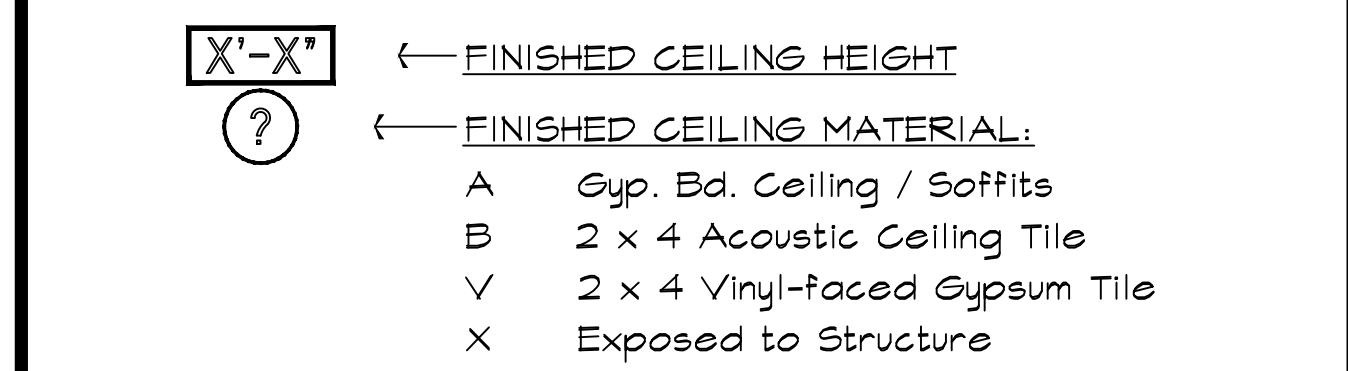
Kitchen / Plumbing Equipment Schedule

DESCRIPTION	NOTES
1 Draft Beer Cooler	3-dr, 2 tower, 4 tap
2 Glass Door Retrig.	3-dr merchandiser
3 I-dr Freezer	-
4 W/C Ice Maker	150lb self-contained
5 Food Warmer, Countertop	(2) Tap Inserts
6 Refrigerated Prep Rail	countertop model
7 Hand Sink	-
8 4-Compartment Bar Sink	-
9 Mop Sink	-
10 ADA Compliant Toilet	-
11 ADA Compliant Lavatory	-
12 Existing Water Heater	Relocated, electric

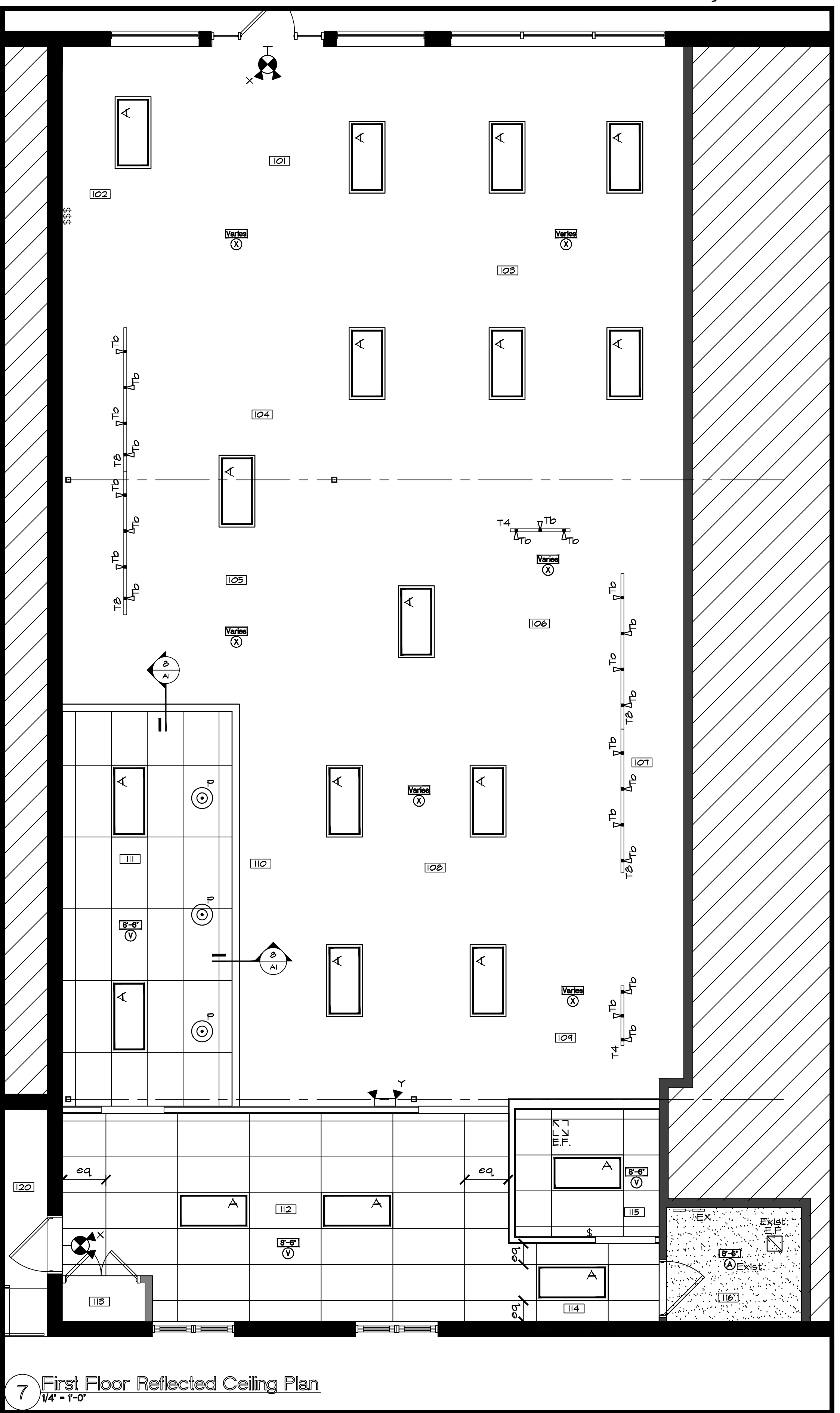
5 Kitchen/Plumbing Equipment Schedule
no scale

Suspended Ceiling General Notes:

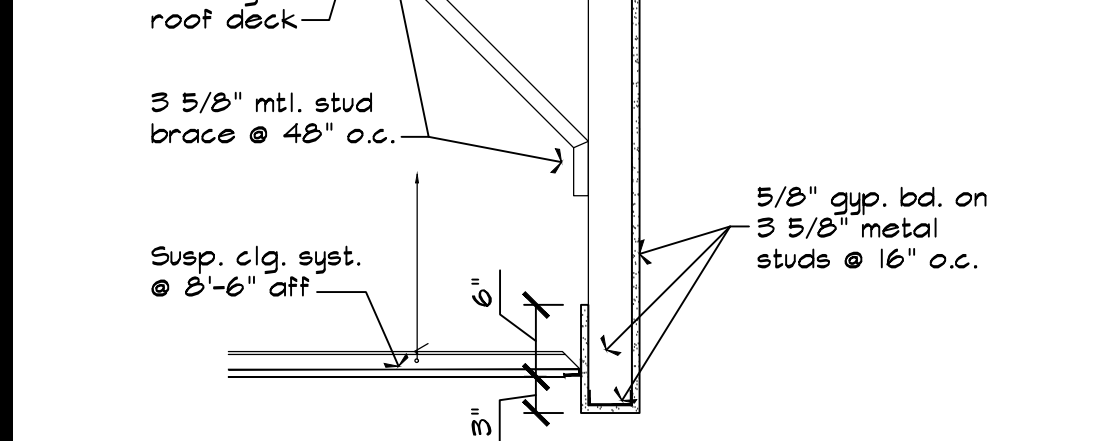
- All ceiling design/installation shall assume a min. of Seismic Design Category D, unless further testing is documented and submitted.
- ALL main and cross tees shall be Heavy Duty (HD)
- All wire ties are to be 12ga, spaced @ 4' o.c. & tied w/ (3) tight twists w/in 3"
- Perimeter Wall Angle shall be 7/8". All grid will be positively attached to wall angle on one side and maintain 3/4" wall clearance on the other and utilize an approved clip (ie, BERG2) to satisfy slip requirements
- Install 12 ga. perimeter wires on main & cross tees a maximum of 2" from walls with a maximum slope of 1:6 vertical.
- Positively attach light fixtures & air devices to ceiling grid. Support devices w/ independent wires to structure above as follows:
 - devices weighing less than 10 lbs w/ (1) 12ga wire - may be slack.
 - devices weighing between 10 and 56 lbs w/ (2) 12ga wires - may be slack.
 - devices weighing more than 56 lbs w/ (2) 12ga wires. - must be taut.
- Lateral Force Bracing (use of vertical struts and splay wires) is required for ceiling areas exceeding 1000sqft.
 - Lateral force braces shall be 12'-0" o.c. min. and begin w/in 6'-0" of perimeter and utilize a method approved by IBC and CISC
 - Splay wires are to be (4) 12ga wires arrayed 90° from another at an angle not exceeding 45° from ceiling plane
 - Splay wires are to be w/in 2" of vertical strut.
 - Rigid bracing may be used in lieu of splay wires.
- Seismic Separation Joints are required on ceilings exceeding 2500 sf.
- Sprinkler head penetrations shall have a 2" oversize ring, sleeve or adaptor to allow for free movement of at least 1" in all horizontal directions.



6 RCP - General & Keyed Notes
No Scale



7 First Floor Reflected Ceiling Plan
1/4" = 1'-0"



8 Ceiling Section
3/4" = 1'-0"

Light Fixture Schedule

A	2x4 LED troffer w/ susp kit
B	Ceiling Pendant Fixture
V	Vanity Sconce
X	Track light w/ bullet heads
I	LED Exit Sign w/ Intergral Egress Light and battery back up
Y	LED Egress light w/ battery backup

9 Light Fixture Schedule
No Scale

07.14.20 Print for Liquor License Submittal

JugoPlus Architects, L.L.C.
7310 Vine Ave, Maplewood, MO 63143
ph/fx 314.781.9303

No.	Revision Description	Date

Renovations for:
BeerSauce Shop Ballwin, LLC
14738 B Manchester Rd.
Ballwin, MO 63011

SHEET:
A1
PROJECT NO.
20004
DATE:
07/14/20

First Floor Plan & RCP