



# FERRIS PARK MASTER PLAN

CITY OF BALLWIN

OCTOBER 2012





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SWT Design would like to thank the City of Ballwin and the community for their time and efforts during the course of the master plan. Without their help, the vision for Ferris Park would not have been possible.

## ACKNOWLEDGEMENTS

### City of Ballwin

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# INTRODUCTION

## CHAPTER ONE

The City of Ballwin Parks System contains five parks totaling approximately 75 acres of park land. Each park has a unique character and provides visitors a variety of active and passive recreation opportunities from indoor and outdoor aquatics at the Pointe and North Pointe to fishing at Vlasis and New Ballwin Parks. Ferris Park has a unique place within the parks system.

Donated to the city by the State of Missouri for use as a public park amenity, the original nine acre park was developed and opened to the residents of Ballwin in the late 1990's with many of the amenities present in the park today. The park contains a restroom, playground, soccer practice field, shelter, and nature trails. In 2010 the City of Ballwin purchased an additional three acres from the State of Missouri that expanded the park boundary to New Ballwin Road.

Ferris Park is now a twelve acre community park located in south-central Ballwin along New Ballwin Road. The park is bordered by New Ballwin Road to the west, and residential neighborhoods on the remaining three sides. The southern boundary of the park is partially defined by a tributary of Fishpot Creek which meanders along the park and neighboring community common ground.

With the acquisition of the additional park property, and a desire by the Parks Department to continue providing residents of Ballwin with a variety of experiences within the parks system, this community input driven master plan was pursued to establish a vision for improvements to Ferris Park. This master plan examines how this park can complement the other Ballwin parks and build on the unique characteristics of the park property to

create a destination park within the Ballwin parks system.

This plan was developed based on input from the residents of Ballwin and City Staff. It includes design concepts that provide short and long term recommendations with order of magnitude cost opinions. This plan will serve as a valuable resource to the city in future capital budgeting and funding acquisition by providing an analysis of existing conditions, a record of public input, and a summary of recommendations and priorities for the improvements to the park.

The following page contains a map showing the locations of all five parks within the Ballwin Parks System, their sizes, and major recreation amenities found in each park. This page also includes an aerial photograph of Ferris Park taken prior to the removal of the building on the recently acquired three acres from the State of Missouri.





Aerial view existing conditions

**PLANNING PROCESS**

The methodology used in preparing the master plan included meeting with City Staff and the community at multiple times throughout the process, while also researching the site and environmental conditions. Research information included maps, photographs, and a meeting with the Corps of Engineers to walk the site and discuss long term creek bank stabilization opportunities. This data along with input from the community were the foundation for creating an innovative master plan for the park. The plan is prepared in a way that the City of Ballwin can implement it in smaller phased projects.

The process to complete the master plan included five tasks:

- 1) Project Initiation / Data Collection
- 2) Analysis and Program Development
- 3) Concept Design
- 4) Final Design
- 5) Final Master Plan Document

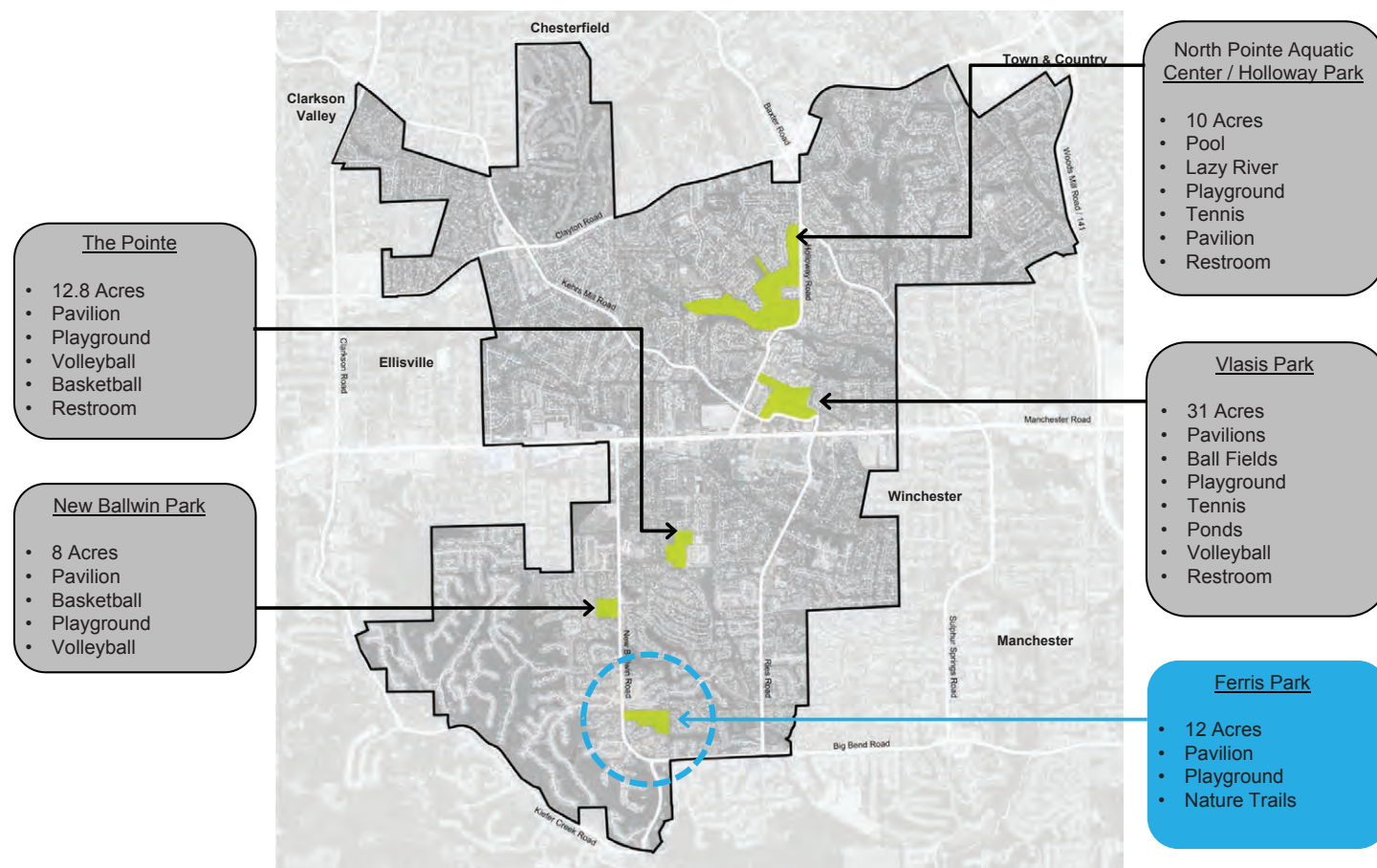
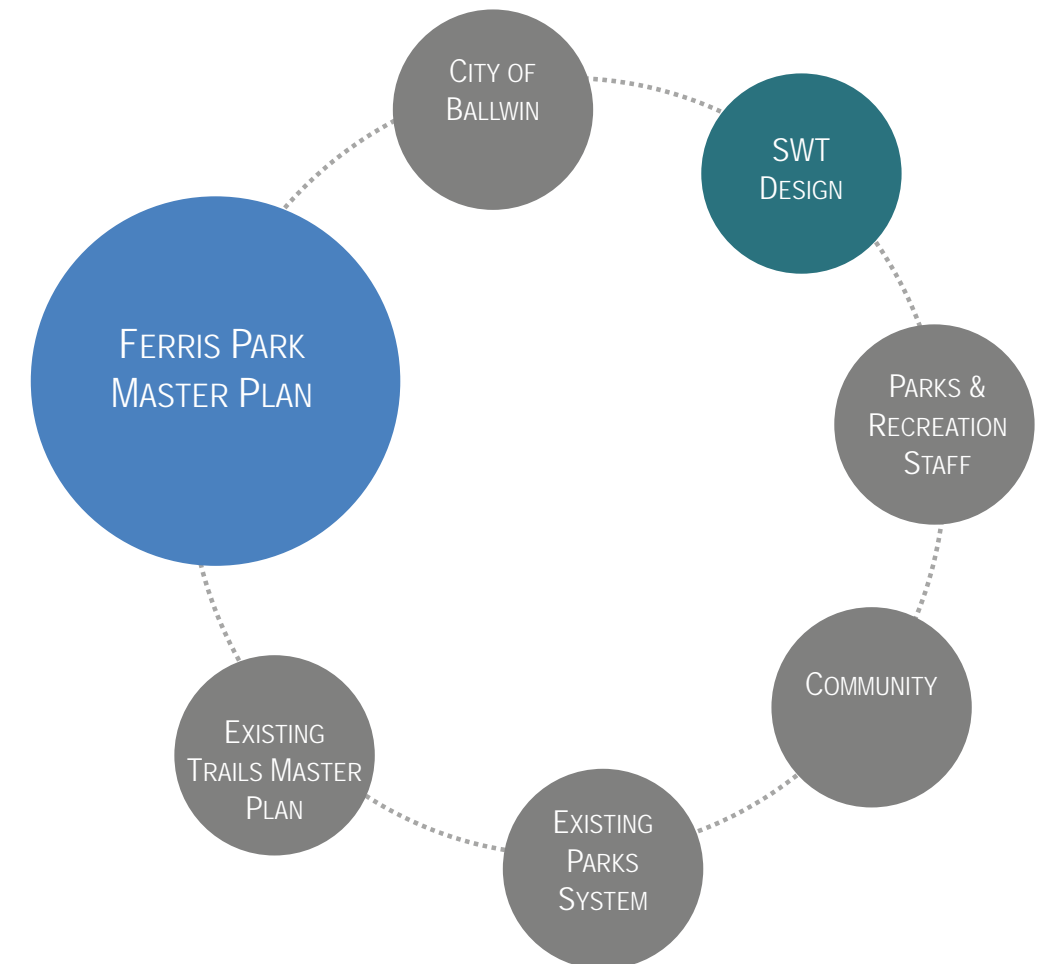


Diagram of Ballwin park system



Master Plan team structure





Public Forum #1

### **Task I - Project Initiation / Data Collection**

- Base Map Collection: Gathered existing base maps, surveys, and aerial photographs of the park.
- Site Visits and Inventories: Conducted several walking tours of the property to view, photograph, and inventory existing conditions and amenities.
- Data Collection site visit and community input meetings included:
  - Kick-Off and Park Walk: March 27, 2012
  - Public Forum #1 with Workshop: May 8, 2012

### **Task II - Analysis and Program Development**

- Evaluated natural features, hydrology, topography and acquisition property opportunities related to park improvements.
- Organized feedback from site analysis, staff, and community to identify the issues relevant to the City of Ballwin.
- Identified and evaluated programming opportunities based on data collection design direction to develop a nature themed or eco-park concept.
- Developed concept design sketches to refine develop the park program. Concepts were shared with City Staff on June 26, 2012.

### **Task III, IV, & V - Conceptual Design, Final Design, and Final Master Plan**

- The final tasks involved the development of design concepts based upon the needs and program items identified in Tasks I and II. This information was compiled and a narrative was developed to create the Ferris Park Master Plan document.
- Developed design alternatives that gave special consideration to community and staff input while addressing accessibility issues, environmental issues, and cost. These concepts were reviewed with the Community in Public Forum #2 on July 19, 2012.
- Following the Public Forum, the park master plan was refined to a final design concept for the park based on input received from the community and staff. The final design concept was reviewed with City Staff on August 29, 2012.
- A site review meeting with Corps of Engineers was held to review the final design and discuss options for creek bank stabilization in severe erosion areas within the park. This meeting occurred in September 5, 2012.

- A cost opinion was prepared and submitted with the draft master plan document for review on September 28, 2012.
- The presentation of the final master plan was given to the City Council on October 8, 2012.

The Ferris Park Master Plan is a work in progress. Recommendations made within the document speak to the needs and desires at the time it was prepared. As the City of Ballwin begins the implementation of the park improvements plan it is important to keep in mind the difficulty of anticipating future budgets, time lines and opportunities. For this reason, it is recommended that this plan be reviewed and updated periodically to ensure it continues to be based on current data and standards.



Public Forum #1



Public Forum #2

# EXISTING CONDITIONS

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## CHAPTER TWO

Ferris Park was evaluated in two manners: by visual inspection and a review of existing site data collected by the design team. Areas of review included: vegetation and surrounding context, topography and hydrology, and, vehicular and pedestrian circulation. The study did not include a formal environmental impact review, or hydrologic study of the creek. The following pages consist of a site analysis summary as well as an inventory of existing conditions.



**VEGETATION AND SURROUNDING CONTEXT**

The twelve acre park is located on the east side of New Ballwin Road south of Rustic Valley Drive. The park is approximately 1,200 feet deep and just over 500 feet wide at its widest point at the east end of the park. The park contains a mix of vegetation defined by topography and use.

The north half of the park is mostly open, mowed lawn with the exception of a stand of large trees around the previous building location on the recently added three areas of park property. The east end of the park is 1.5 acres of open mowed lawn. This area has been used over the years for youth soccer and baseball / softball.

The south half of the park is a wooded hillside sloping down to a tributary creek of Fishpot Creek. This wooded hillside and creek cover approximately 4 acres of the parkland. In the fall of 2011 and spring of 2012 the Ballwin Parks Department partnered with the University of Illinois for removal of bush honeysuckle within the woodland area as part of the university study. This removal has significantly improved the openness of the woodland, and provided an opportunity for the woodland to be established with native understory plants. It will be important for the city to continue with a honeysuckle removal and management program to prevent reestablishment of this invasive plant.

The park is bordered by residential development on all sides with the exception of the west where it borders New Ballwin Road. There is a residential neighborhood directly across New Ballwin Road. The north and west property lines are fenced and

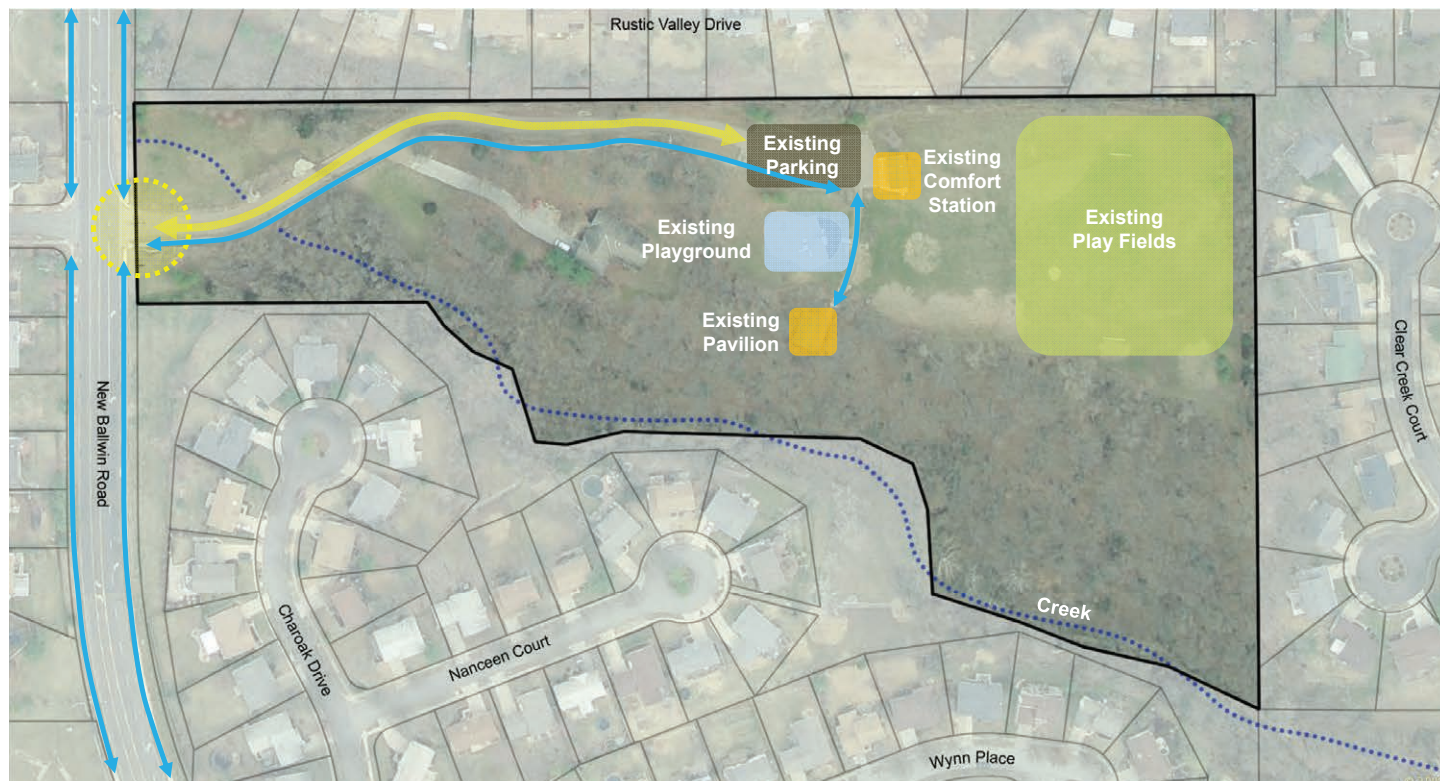
defined by intermittent tree and understory growth running the full length of these park edges. The south boundary adjoins a residential neighborhood and common ground. This boundary follows a creek which moves in and out of the park. The honeysuckle removal has greatly opened visibility to and from the south side of the park.

**TOPOGRAPHY AND HYDROLOGY**

Topography is a defining characteristic of the park. The northern half of the park is relatively flat with the high point of the site roughly at elevation 630 located midway down the north boundary line. The park slopes in all directions from this point. There are several locations of significant changes in topography within the north section of the park. The first of these is along New Ballwin Road with approximately 15 feet of elevation change at the northwest corner. The entry drive located further south along New Ballwin follows the topography sloping down into the park before rising back up to the high point, then sloping back down into the parking lot. The second location is along the entry drive where the building was located on the three acre parcel. In this location there is approximately 20 feet of elevation change from the north side to the south. The upper edges of the slope are tree lined while the bottom of the bowl was the location of a recently removed and is open lawn.

The park topography becomes more severe along the southern half of the park. In this location the park transitions to a wooded hillside sloping down the creek, and the elevation drops upwards of 30 feet within the woodland. The topography within this area of the park will have a significant impact on accessibility for trails as well as hydrology within the park.

Site hydrology will play an important role in planning improvements within the park. Existing site drainage and the entry drive have created a storm water drainage issue in the open lawn area north of the entry drive, and the overall slope of the site has led to erosion channels down the hillside to the creek. The creek itself has areas of bank erosion at the locations where this drainage enters, and the most significant issue is a cut bank that has developed on the park property.



Existing park program



Context and Walkability diagram



**VEHICULAR AND PEDESTRIAN CIRCULATION**

Vehicular circulation within the park is fairly well defined. The park has a single vehicular entry located on New Ballwin Road. A small median defines entry and exit lanes, and contains a system standard park entry sign and landscape. The park drive is approximately 750 feet in length and follows the slightly rolling topography of the west end of the park down into the park, and then back up to the park high point as it bends to the north and follows the parks north boundary. The drive ends at the 28 space single bay dead end parking lot located along the north boundary near the middle of the park.

While Ferris Park is not a daily high use park, safety issues within the parking lot should be addressed. Providing a turnaround for vehicles within the parking lot, and a drop-off for access to the park and pavilion would improve circulation within the park. Additional parking should be added to address anticipated increased use with the implementation of the proposed changes and reduce potential hazard of parking along the entry drive when the lot is full. The park entry is nondescript from New Ballwin Road. The right-turn only lane into the park from Big Bend is beneficial, but lacks identification for the park as you approach from the south. Expanded entry design elements that define the park along New Ballwin and enhanced landscape would increase visibility of the park entry to visitors.

Public sidewalks along New Ballwin Road provide pedestrian access to the park. Once within Ferris Park a paved walk parallels the park drive and provides access from New Ballwin Road to the parking lot, however, the slope of the walk in places exceeded allowable standards for classification as an ADA accessible route. This walk is also narrow for a park trail; the walk should be a minimum of six feet wide and preferably eight feet if it is a major circulation route. Once at the parking lot the asphalt walk continues to the playground and overlook shelter. The walk does not provide direct access to the park restroom. It stops at the connection to the playground and shelter walk, and pedestrians are required to travel through the parking lot to access the restroom building.

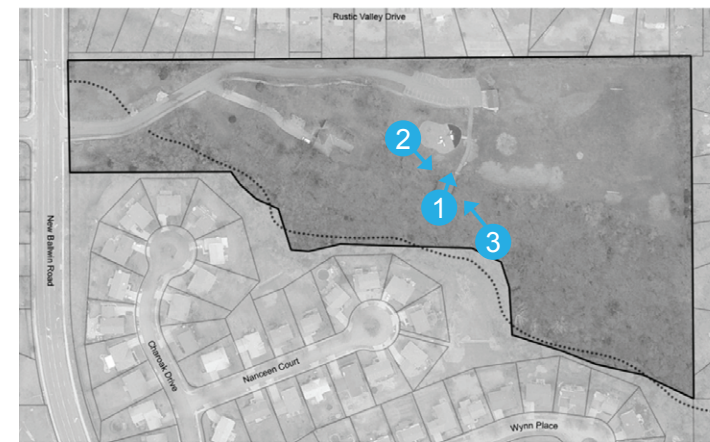
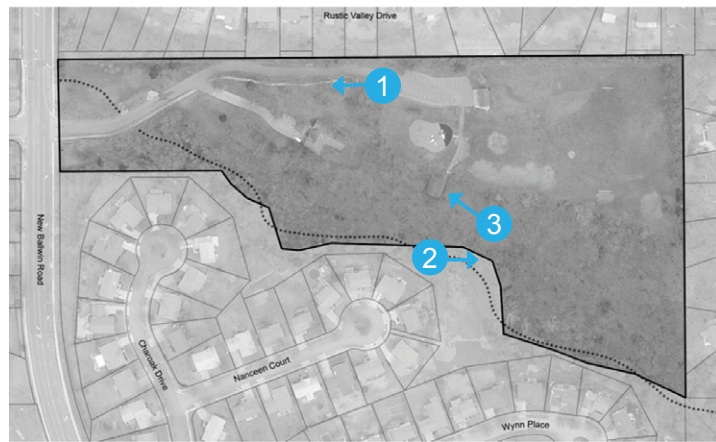
Within the wooded hillside on the south side of the park are several natural surface trails following the creek and connecting to the playground area and practice field at multiple locations along the length of the creek. Along these trails are several small foot bridges and benches. With the honeysuckle removal and subsequent opening of the woodland area these trails are not as defined as they had been, but are still identifiable and used.

Developing an internal paved loop trail system would increase recreation use within the park, and should provide accessible loop(s) where possible. Existing slopes may prevent the development of accessible loops within the woodland, but access to some level should be a goal of an improved trail system. The trail material should be appropriate for the level of accessibility. The overall trail system should provide function and recreation, and include additional connections to the surrounding neighborhoods where appropriate.



View looking east of existing park elements





View looking northwest of existing park elements



# PROGRAM

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## CHAPTER THREE

Program development for the park concepts began with a review of the park property and existing development constraints, identification of recreation opportunities within the existing parks system, and discussion of parks and recreation needs with city staff. This analysis formed a foundation for the development of a park vision statement. A public input workshop was held to further develop the vision statement and identify desired program components for the park. Combined, this analysis and input information was the basis for the concept designs developed for the park.

The public workshop was well attended resulting in a significant amount of community input for the development of a park program. The final master plan does not include every issue brought up in these meetings, but these items were recognized and included in the concept design development process and are listed in the program statement on the following pages. Copies of all written input received during the planning process are included in the appendix of this report.

Each community and parks system is unique. While benchmarks can

validate a need for park land or a specific component, a community and staff should consider which improvements will meet the greatest needs and are economically viable for construction and maintenance when determining need and priority of park improvements. For the improvements proposed within Ferris Park, a vision was defined based on the needs and desires of the community. This vision will create the framework for the park amenities and may dictate the priorities for implementation of the park master plan.



**PROGRAM ELEMENTS**

To achieve this vision, a list of potential program components was developed based on community and staff input. Below are the program items identified for the master plan, in no particular order or hierarchy:

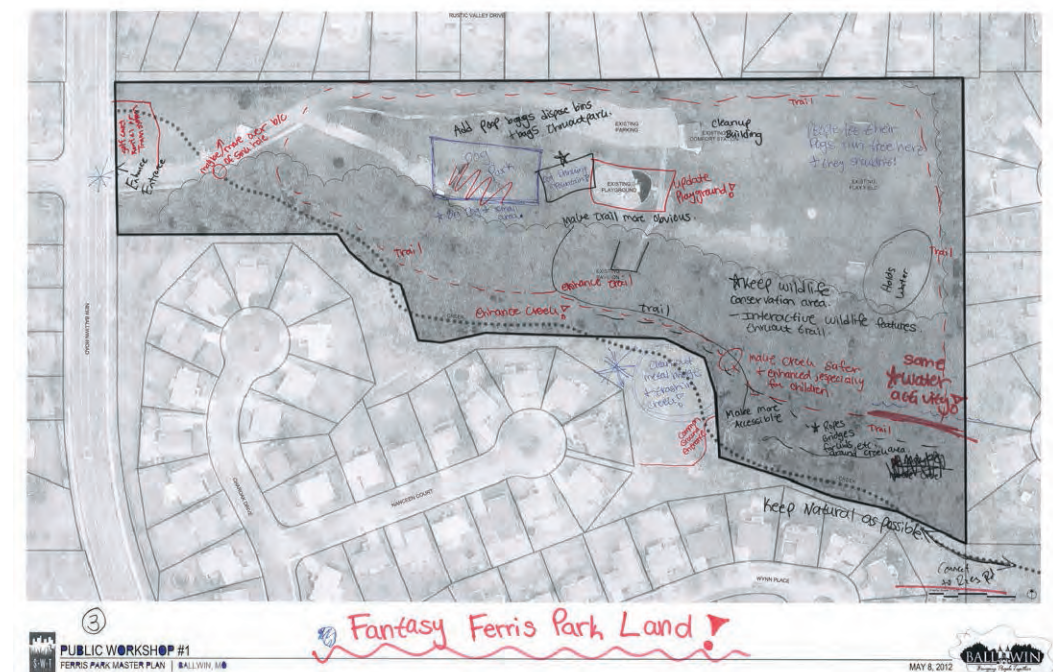
- Walking / bike trail (loop)
- Keep it natural
- Accessible Playground
- Enhance the creek and trail area
- Dog park / No dog park
- Nature settings – butterfly garden and bird watching
- Improve the soccer field
- Wildlife area
- Connections to other trails / neighborhoods
- Additional parking
- Updated playground
- Expanded trail system
- Exercise stations
- Water features
- Additional shelter
- Natural play areas
- Keep natural / wildlife
- Water feature
- Enhanced entry with new signage
- Natural play
- Restore woodland vegetation
- Pools and riffles along creek
- Shelter adjacent to parking
- Dog park
- Tree houses
- Nature trail
- Frisbee golf
- Accessibility of entire park
- Make the creek safer and enhance appearance
- Connections to nearby trails and greenways



Images above from Public Forum #1



Community workshop



Results from community workshop

# DESIGN CONCEPTS

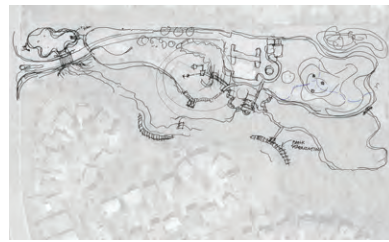
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## CHAPTER FOUR

Several concept designs were prepared for the park, and presented to the community and staff for feedback and direction in a series of meetings. These concepts reflect the keys goals, objectives and program items identified during data collection discussions with the community and city staff. The concepts, along with design imagery, were presented to the community during Public Forum #2 on July 19, 2012.

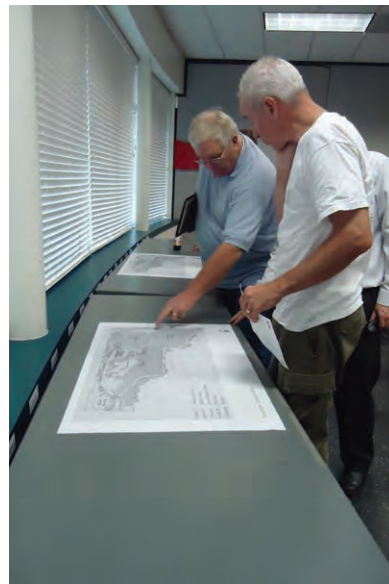
The following pages include two conceptual park designs that were presented to the public. These concepts vary in the program items included as well as the size and location of the items within the park. Several consistent features within the park concepts are proposed. These items are: park entry improvements, a new playground, improved parking, passive and landscape enhancements, and a loop trail system.



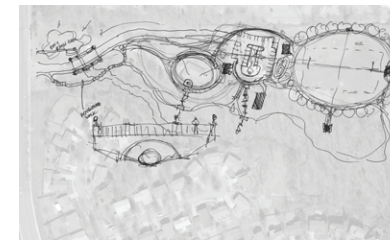


**CONCEPT A**

- Focus on nature / education destination
- Improved entry amenity with water feature
- Modified park drive to allow for trail along north boundary of the park
- Expanded parking with biofiltration garden and drop-off at east end
- Remove existing ballfield and replace with native meadow



A graphic with summary of landscape, trail, and parking are provided below.



**CONCEPT B**

- A more formal destination of space within the park and a balance of active recreation and nature passive recreation
- Entry feature with wetland landscape, but not to retain water
- Maintain existing vehicular drive
- Expanded parking with drive lane drop-off and central biofiltration garden
- Retains the ballfield as defined multi-use lawn with loop walk



A graphic with summary of landscape, trail, and parking are provided below.





# FINAL PARK MASTER PLAN

## CHAPTER FIVE

The following improvement recommendations for Ferris Park were prepared through review and analysis of the existing conditions, community wide-park needs analysis, and discussions with city staff and community. This plan is presented to meet recreation needs and desires of the City of Ballwin now and in the future, while attempting to protect and enhance the natural systems present within the park property.

A general goal for all proposed amenities within the park is to meet ADA guidelines where possible. With a focus on nature and education for the park, sustainable design practices and materials should be explored and applied when appropriate.

Trails and connectivity are passive recreation amenities that continually rank high in regional and national parks and recreation surveys. Trails are an amenity that can be enjoyed by all residents throughout the year. Along with the internal trail system connections should be made to link the park to the larger community wide trails and greenways system when possible.

The trail system within the park will be the primary means of circulation and is intended to provide users the opportunity to explore the park and the variety of experiences it provides. To accomplish this park wide trails system, multiple types of trails may be required. The master plan design includes a trail system with paved and unpaved trails as well as opportunities for future connections to the community.

Landscape is an important amenity in the park. The master plan recommendations for the park landscape are intended to enhance the existing landscape, minimize the amount of landscape maintenance required in the park, create buffers, address erosion issues, create wildlife habitat, and create an identity at the park entries and specific locations throughout the park.

The final master plan graphics and recommendation narratives for Ferris Park are presented on the following pages.





**LEGEND**

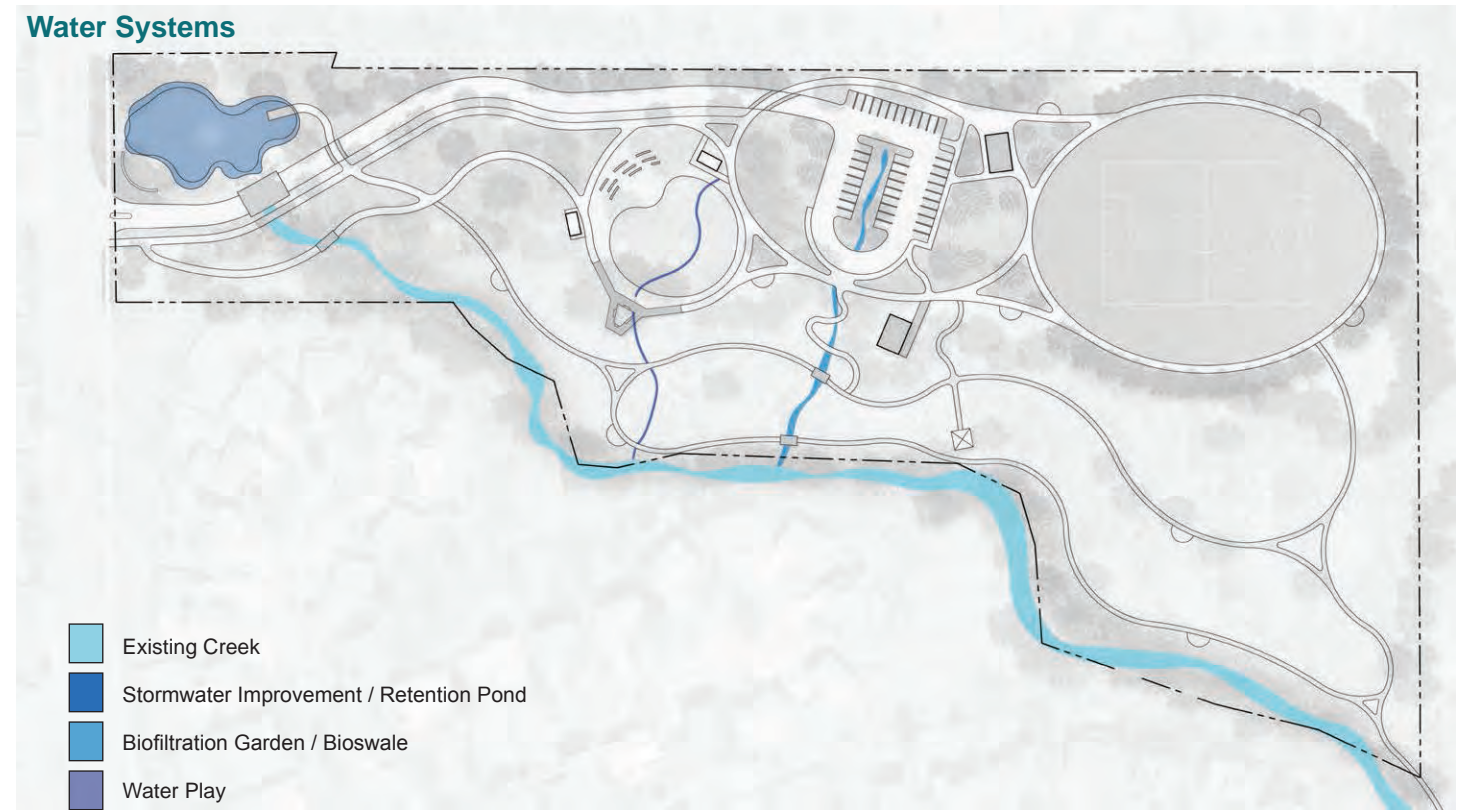
- |                           |                                                  |
|---------------------------|--------------------------------------------------|
| 1 Enhanced Park Entry     | 10 Biofiltration Garden                          |
| 2 Water Feature           | 11 Native Landscape                              |
| 3 Bridge                  | 12 The Green                                     |
| 4 Exploration Playground  | 13 Creek Overlook                                |
| 5 Outdoor Classroom       | 14 Natural Trail                                 |
| 6 Small Shelter           | 15 Riparian Landscape & Creek Bank Stabilization |
| 7 Future Restroom         | 16 Existing Comfort Station                      |
| 8 Boardwalk / Overlook    | 17 Existing Pavilion                             |
| 9 Sustainable Parking Lot |                                                  |



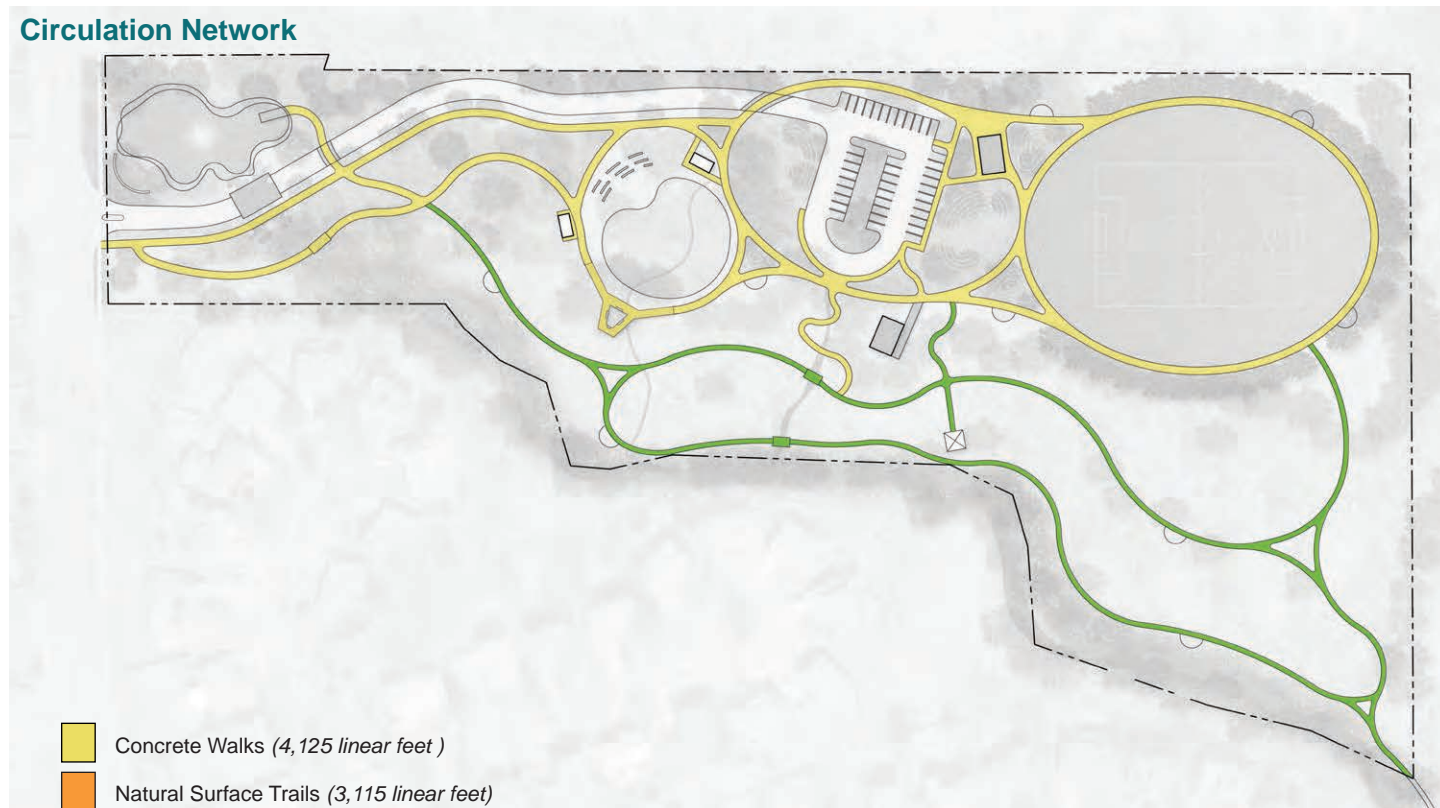
Existing Conditions



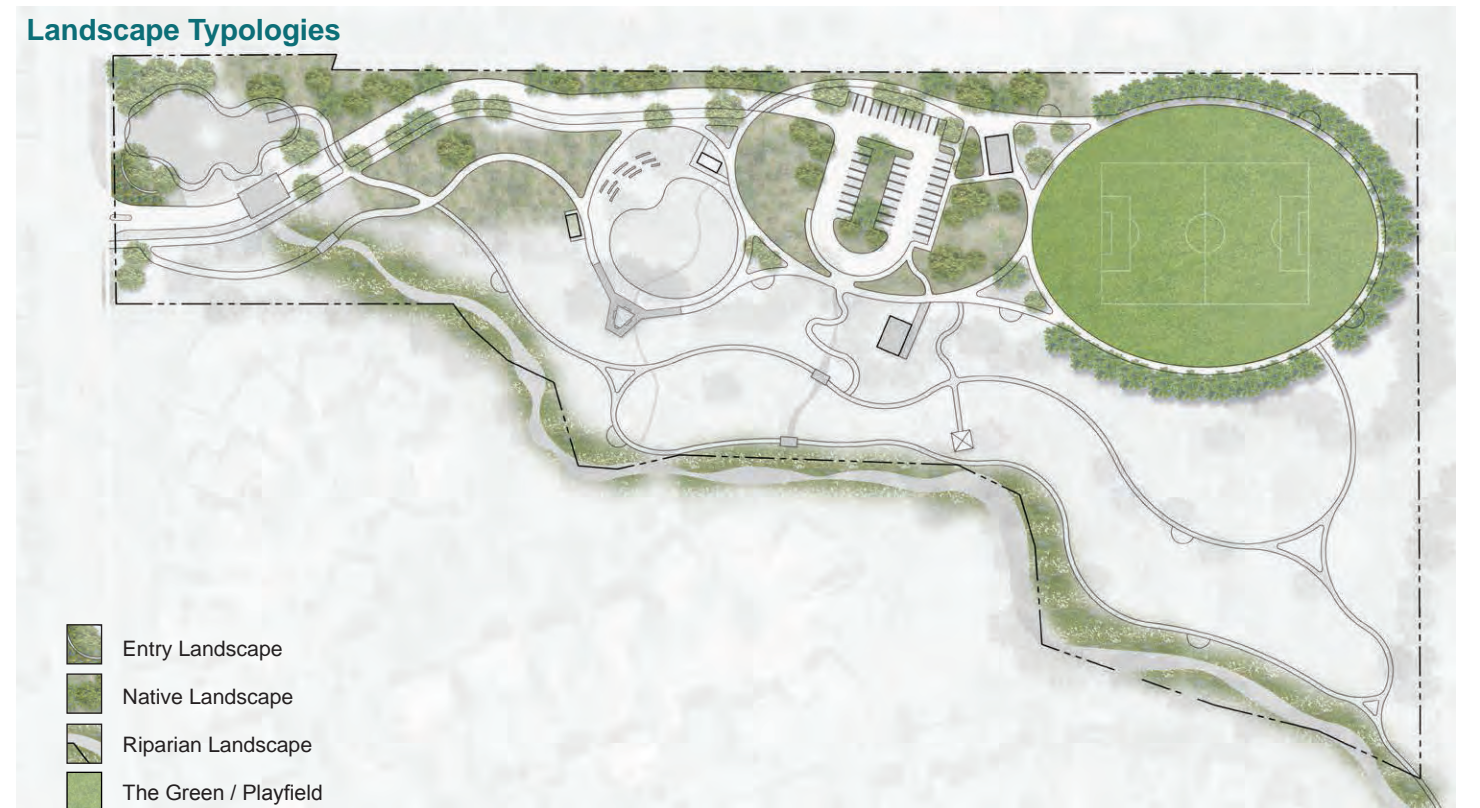
Water Systems



Circulation Network



Landscape Typologies





**CREEK BANK STABILIZATION**

The creek and its riparian corridor are critical to the park's success. The stream forms the backbone of the park, and all site drainage in the park leads to this stream. As a result, all park improvements will impact the stream and addressing erosion issues along the stream should be part of the park improvements. Measures should be taken to repair highly eroded portions of the stream bank and reestablish native plantings that will help prevent stream bank denigration.



Existing Conditions at Ferris Park

The design team and city staff met with the Army Corp of Engineers in the park to review the existing conditions and discuss options for creek bank stabilization in severe erosion areas. The assessment was that the creek is in overall good condition with the severe erosion areas noted. The severe cut banks occur on the park side of the creek and the adjacent resident's properties are not immediately impacted.



March 2009



September 2010

Possible solutions to remedy the cut banks and erosion would be to re-establish the woodland understory, place large rock at the bank, a process called Longitudinal Peaked Stone Toe Protection along with native tree plantings such as Live Willow.



May 2009



April 2010

The images to the right show the existing condition of the creek as well as images from a recent stabilization project along Haw Creek in Pike County, Missouri.



March 2009



September 2010

A "stream team" could be developed to help keep the creek clean, remove damaging build ups of trash and fallen trees and foster plant communities native to the stream banks.

**WOODLAND RE-ESTABLISHMENT**

The parks department partnered with the University of Illinois to participate in a honeysuckle removal program in 2011-2012. The treated woodland area should be planted with woodland species as listed below and seeded initially with Virginia Wildrye (*Elymus virginicus*), an annual grass, and River Oats (*Chasmanthium latifolium*), to stabilize soils quickly. Along with the initial seeding of grass the treated woodland should either be seeded with forbs and grasses, typical for this biome, or should be planted with plugs, for long-term woodland groundcover establishment, depending on availability of funds. The planted tree saplings need to be protected from deer damage with tree tubes or equal measures. The areas of invasive removal, typically bush honeysuckle, should be only as large as feasible to establish young woodlands by plantings, install tree protections and install and maintaining erosion control.

Maintaining these new tree plantings and monitoring and controlling the re-growth of Honeysuckle and Wintercreeper will be essential for a successful woodland restoration and will be a long-term commitment until the Woodland is self sustaining.



Existing Conditions at Ferris Park



Bluebells



Columbine



Coral Bells



Aster



Sedge



Dogwood



Beautyberry



Azalea

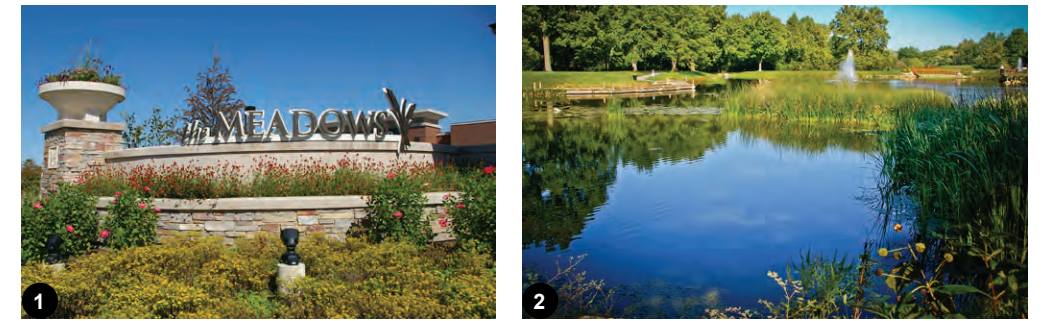
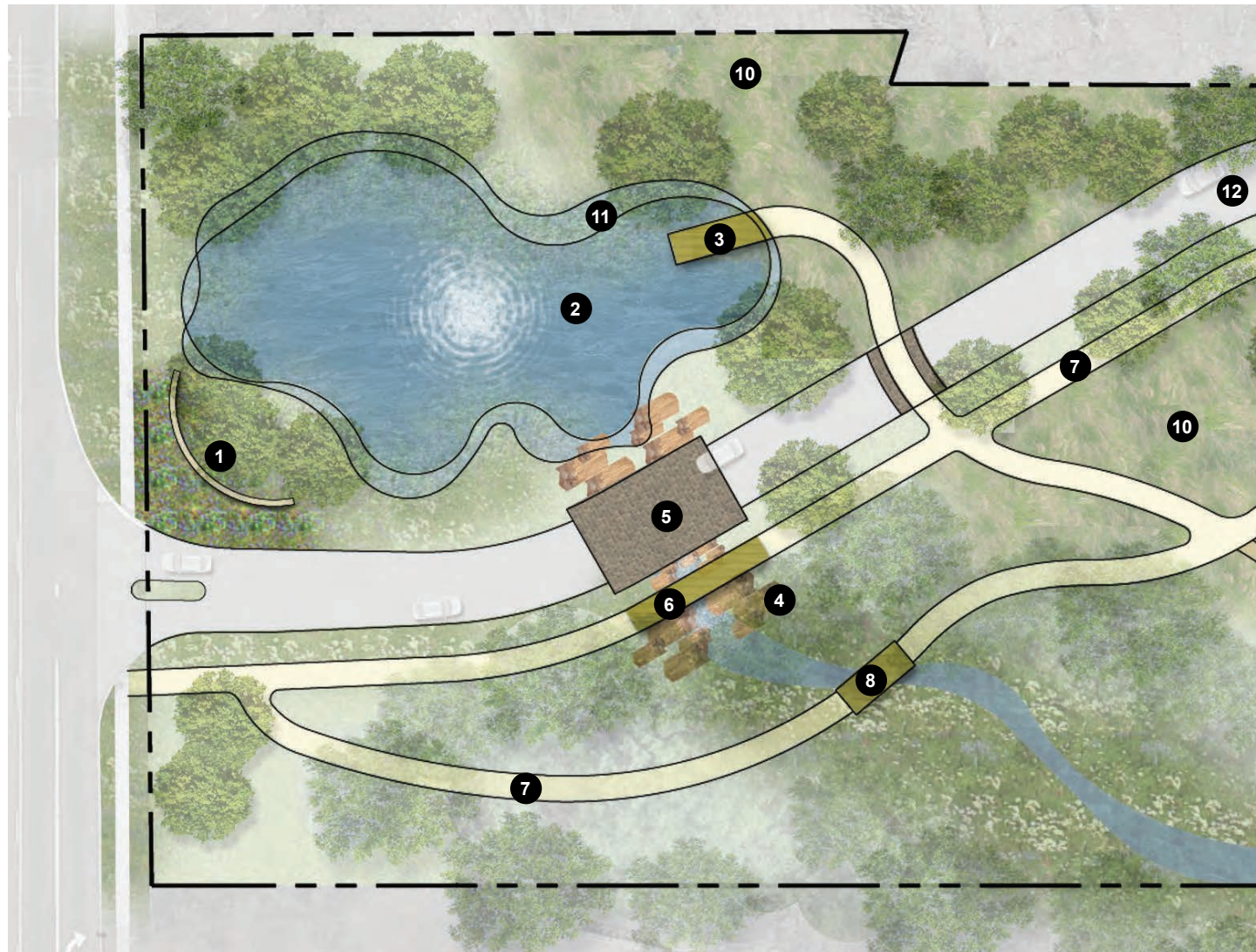




### PARK ENTRY AND WATER FEATURE

The entry is one of the most important features of the park because it provides the first impression for all users and passersby. The primary entry to the park will remain in its current location, and should be a welcoming gateway inviting park users and announcing the park's presence. An emphasis should be put on improvements providing a sense of arrival and identity for the park with new entry signage and landscape. With the natural features of the park playing such a large role in dictating design and how the park will function, it is critical to look at these conditions and opportunities. With that in mind, these amenities look to create passive recreation and educational destinations within the park focused on the hydrology systems that occur with the park, both natural and manmade.

The creation of the entry water feature will serve both an aesthetic role and a functional purpose in by creating storage at high water times. Directing this waterway into the constructed water feature will improve water quality and slow its release into the creek which will help mitigate the current erosion problems within the park.



### LEGEND

- 1 Park Entry Signage
- 2 Water Feature
- 3 Fishing Pier
- 4 Boulder Falls
- 5 Vehicular Bridge
- 6 Pedestrian Bridge
- 7 Concrete Walk (8' wide)
- 8 Creek Bridge Crossing
- 9 Pedestrian Crosswalk
- 10 Native Landscape
- 11 Aquatic Plantings
- 12 Existing Entry Drive





**PARK ENTRY AND WATER FEATURE**

**1 Park Entry Signage**

- Entry signage and landscape should be designed to create a noticeable entry feature, and announce the park, while keeping in context with the scale and character of the park
- Entry landscape should extend the length of park frontage as a visual key to park visitors
- Landscape at the park entries should provide seasonal color and year round interest. Scale and amount of landscape will help define the vehicular entries from the pedestrian entry
- Landscape in these areas may require a higher level of maintenance and attention based on the plant material selected and scale of the entry feature

**2 Water Feature**

- May include fountain element for aesthetic and visual element from New Ballwin Road
- Utilizes existing topography and drainage patterns to capture water
- Incorporates aquatic plantings that provide a biological filter
- Develop as a functional forebay for storm drainage and as a passive recreation amenity

**7 Concrete Walk**

- An 8'-10' wide concrete trail system within the park includes a loop trail around the perimeter of the park and smaller internal loops. This trail system will connect all park amenities
- Efforts should be made to develop as much of the trail system with accessible loops
- All connections to parking and park amenities should be accessible

**3 Fishing Pier**

- Should provide access to water edge and aquatic plantings throughout the year
- Connects to the trail loop system within the park and should be accessible to all users
- Provides dedicated space for users who enjoy fishing
- Minimum 8' wide

**8 Creek Bridge Crossing**

- Allows park users to immediately connect to the loop trail system
- Grade change will be significant in this area and may not be fully accessible. Detailed engineering will need to be completed
- Character of the creek crossing should be rustic and blend with the more natural feel of the woodland area
- Allows for views of the boulder falls

**4 Boulder Falls**

- Serves a functional role in construction of the water feature while providing an aesthetic quality for park users
- Allows overflow water from the water feature to naturally navigate the change in grade to connect with the existing creek
- Can be used to create settling pool before flowing into creek

**9 Pedestrian Crosswalk**

- Where the trail crosses roadways within the park, special paving or paint striping should be added to provide safe crossings and protect park users

**5 Vehicular Bridge**

- Designed as a "gateway" into the park
- Bridge amenity may be designed as actual bridge structure or road over culvert with detailing to appear as a bridge
- Engineering and budget will impact the design direction
- Surface material should be distinctive in comparison to the entry drive, concrete pavers or colored and stamped decorative concrete would be appropriate
- Bridge should have railings if engineering determines as needed

**10 Native Landscape**

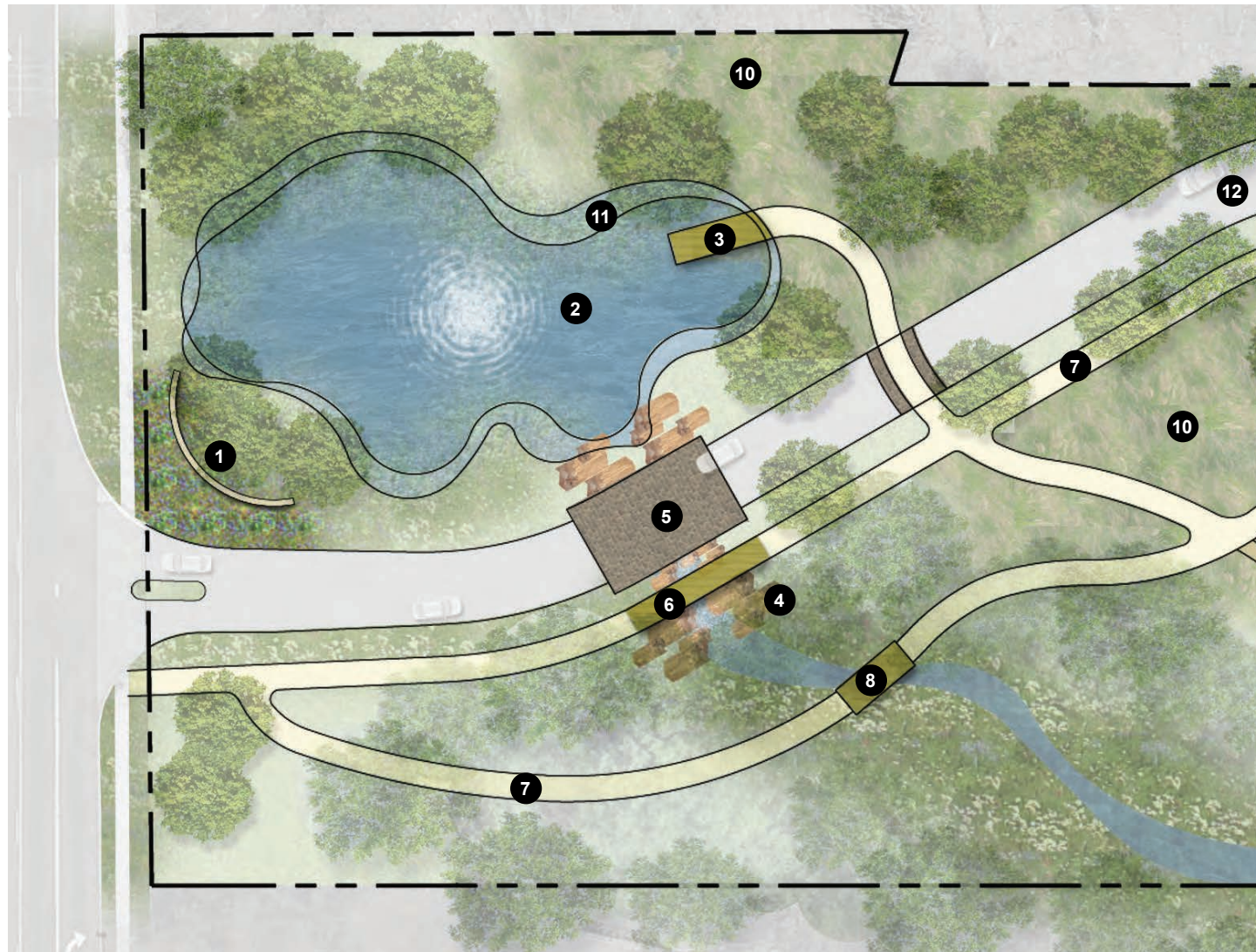
- A native grass and wildflower area should be a focal point of the entry feature and provide passersby with a "taste" of the landscape within the park
- Native plant materials, that will enhance the existing plant habitats and character of the park, should be utilized when possible
- In addition to reducing maintenance needs, meadow areas add year round visual interest to the park, create wildlife habitat, assist in site runoff filtration, and create opportunities for education

**6 Pedestrian Bridge**

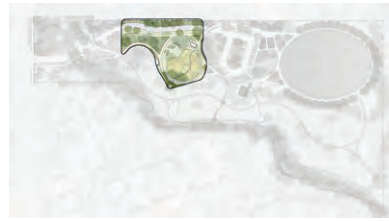
- Designed as a "gateway" into the park for the adjacent residents who walk to the park
- Allows for a strong visual connection of the boulder falls and existing creek
- Design will be compatible with the vehicular bridge

**11 Aquatic Plantings**

- Year round visual interest, site water filtration, and wildlife habitat enhancement should be goals of aquatic planting



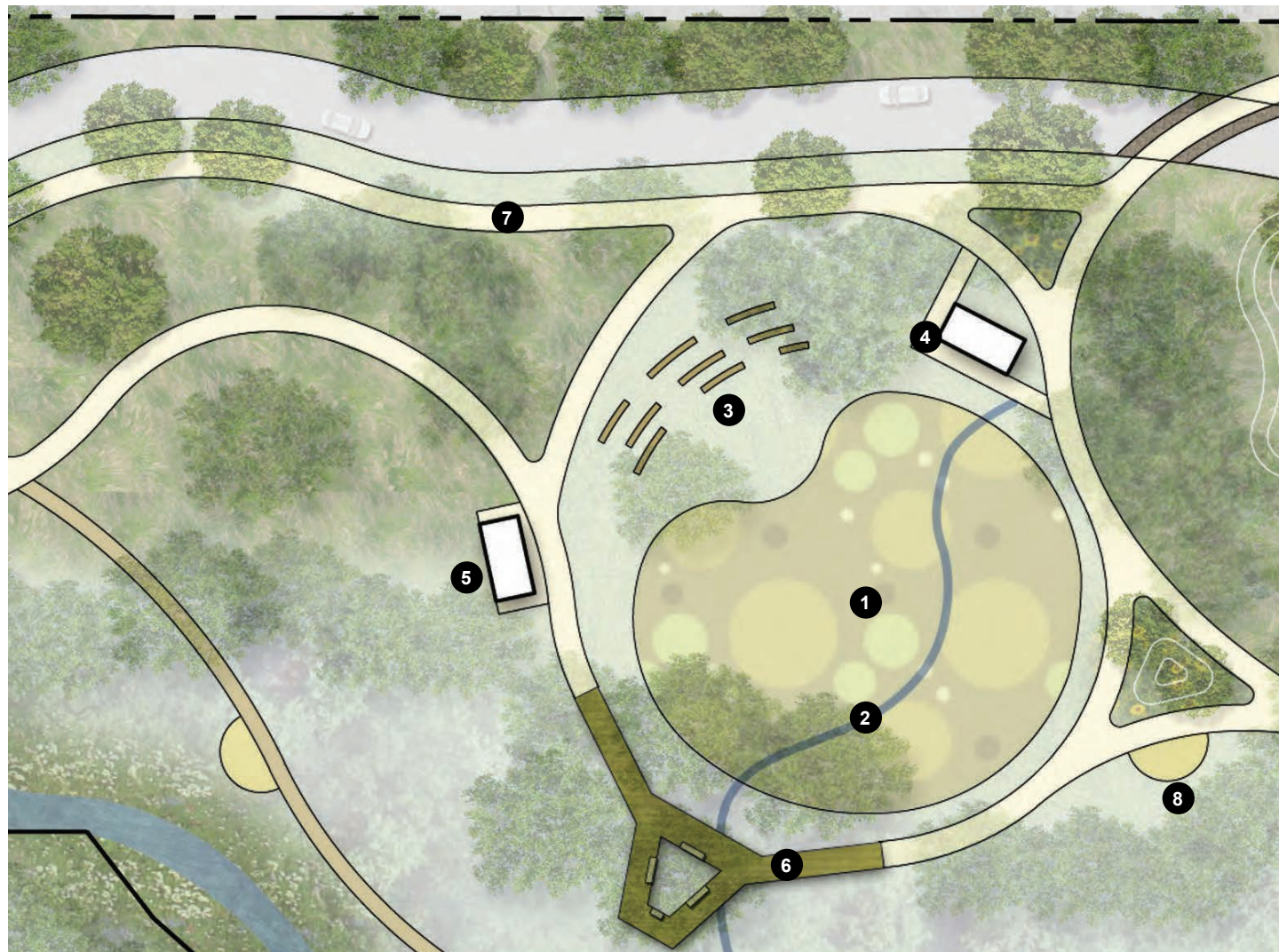




### NATURE EXPLORATION PLAYGROUND

Located in the heart of the park, this playground and picnic area will create a family destination within the park. The playground utilizes the space that previously consisted of the state home. The existing topography creates a “bowl” shape for the new playground, while respecting the existing trees in the area. The elevation changes within the playground will allow for the incorporation of hill slides, net climbers, and a boardwalk with an overlook into the canopy of the existing trees. The playground design should reflect the natural environment and focus on alternative play types, engaging nature, immersion into native landscapes and the natural world. It should go beyond typical play structures seen in average playgrounds. An interactive water play element will integrate with the play area and landscape while ultimately becoming an amenity as it travels down the hillside into the existing creek.

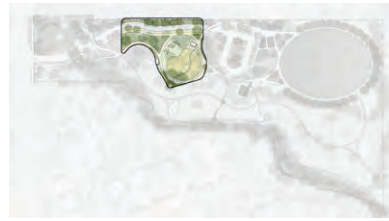
Along with the playground, the area includes a small family shelter adjacent to the playground and open lawn with tables for additional picnic and gathering space. This amenity is connected to the central parking lot by accessible concrete walks and is located adjacent to the overall park trail system.



#### LEGEND

- 1 Exploration Playground
- 2 Water Play
- 3 Hillside Seating
- 4 Small Shelter
- 5 Future Restroom
- 6 Boardwalk / Overlook
- 7 Concrete Walk (8' wide)
- 8 Seating Area





**NATURE EXPLORATION PLAYGROUND**

**1 Exploration Playground**

- Playground should engage the site topography and natural park setting
- Utilize landforms, sculpture, water, plants, and malleable materials to engage children and stimulate the senses
- Designed for children of all age ranges and physical abilities
- Native plant material should be used to reinforce design ideas, provide shade, screen views, and accent the playground entry

**2 Water Play**

- Will provide children a place to dig in and get their hands dirty, literally and figuratively
- At several locations, flat, stone slab bridges will cross the creek and a system of “kid activated” levees or weirs should be created to allow children to engage the flow of water
- The creek should meander at grade and be constructed of natural materials, native rocks and sand, with a rubber liner

**3 Hillside Seating**

- A space for outdoor education, group events, or informal seating
- Should be constructed of natural materials and blend into the native landscape
- Terrace the seating on the hillside allowing everyone to see the “stage”
- Locate adjacent to the playground for shared use
- Allows for viewing area of playground
- Groups of students, scouts, or native enthusiasts could attend programs that focus on the environment

**4 Small Shelter**

- Centrally located adjacent to the playground
- The pavilion should be sized to accommodate 2-3 picnic tables and include plumbing service for a drinking fountain and electric service with security lighting

**5 Future Restroom**

- A restroom facility should be considered near the playground and accessible from the loop trail system
- Composting restrooms are a cost effective alternative to a traditional restroom and would complement the overall concept of the park design

**6 Boardwalk / Overlook**

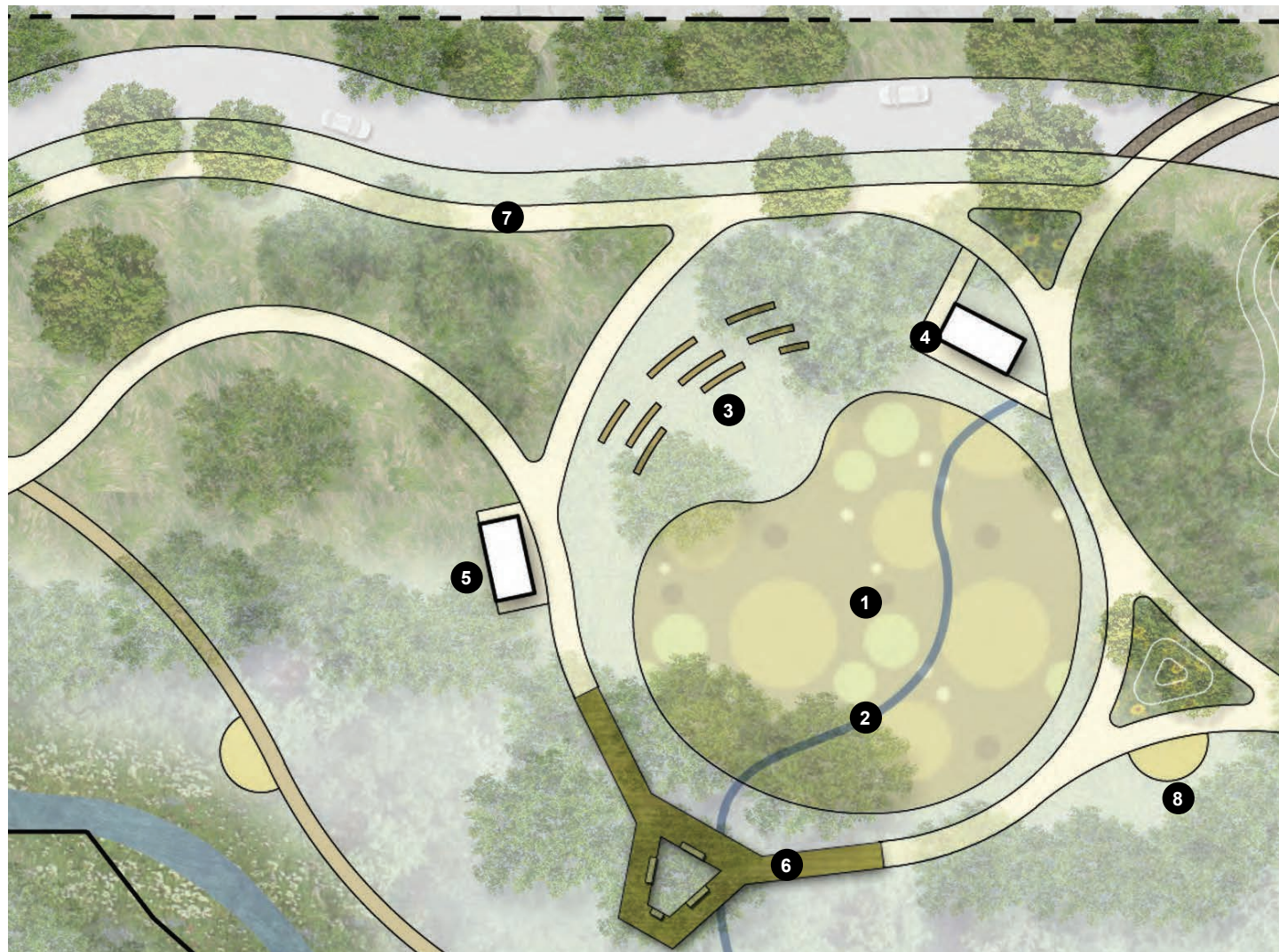
- Balances height, safety, beautiful materials and real trees to make for a playful and exhilarating learning experience
- Takes advantage of the hillside slope towards the creek
- Designed to create an refuge from the park
- Allows users to walk within the canopy of the existing trees
- Gives its visitors a view of the woods below
- The boardwalk consists of sustainably and locally harvested wood decking

**7 Concrete Walk**

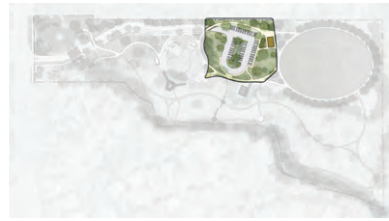
- An 8'-10' wide concrete trail system within the park includes a loop trail around the perimeter of the park and smaller internal loops

**8 Seating Area**

- Provide ADA compliant seating areas on concrete pads along the playground walk
- Locations to be selected to provide opportunities to view play areas, as well as experience the nature setting and theme of the space
- Concrete pads should be sized for bench and wheelchair / stroller access





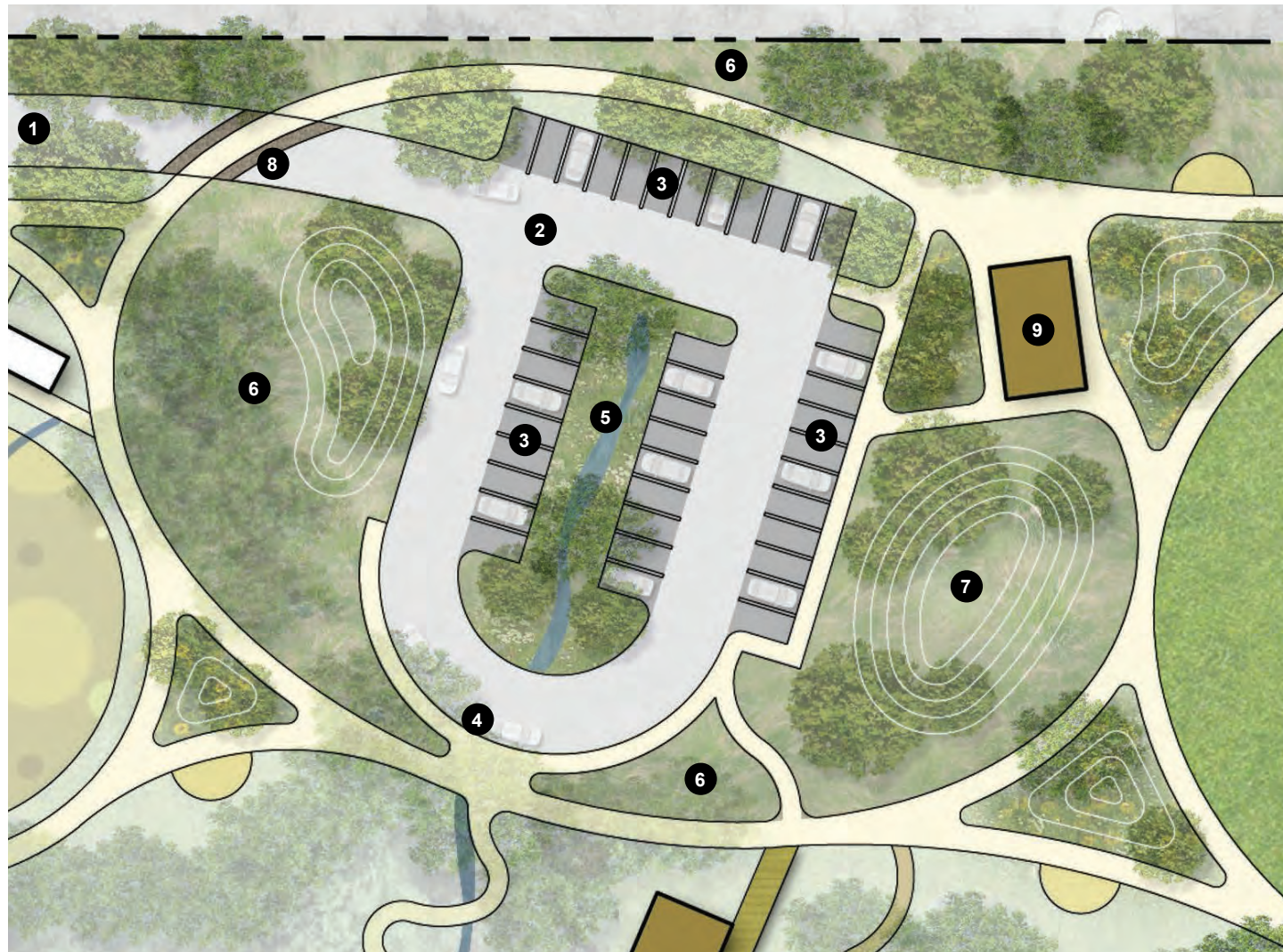


### SUSTAINABLE PARKING IMPROVEMENTS

The existing dead-end parking lot of twenty eight spaces will be replaced with a more user friendly lot with an additional 13 spaces, for a total of 41. The new parking lot will also incorporate a dedicated drop-off zone for park users. The expanded parking lot continues the sustainable design thought incorporated in the entry water feature and creek. The intent of this sustainable design thought is to minimize the environmental impact footprint of the parking lot within the park through the incorporation of “green” design.

“Green” parking lot is a term used to describe parking lots that may incorporate a variety of environmentally preferable features, including impervious surfaces, stormwater best management practices (BMPs), and alternative parking surface materials. The Ferris Park parking lot will contain several of these features. These include permeable paving and a central biofiltration garden.

Parking lot runoff is a major contributor to non-point source pollution of our waterways. Conventional parking lots quickly move stormwater into storm sewers and receiving water bodies. As it flows across pavement, the water picks up pollutants from the



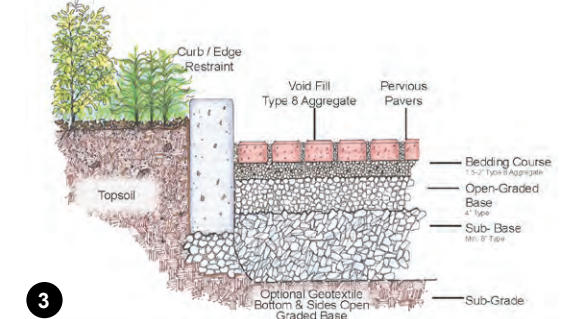
surface. As a result, runoff that is contaminated with many types of petroleum and other pollutants from parking surfaces enters receiving waters at an unnaturally high rate and volume, negatively impacting the surrounding ecosystem, and leading to erosion and water quality issues.

Innovative approaches to planning and design can greatly mitigate many of the negative impacts of parking lots, including diminished recharge of groundwater, high rates of stormwater runoff, and non-point source pollution, by decreasing impervious surface area, protecting water quality, reducing stormwater management and maintenance costs, and increasing aesthetic value.

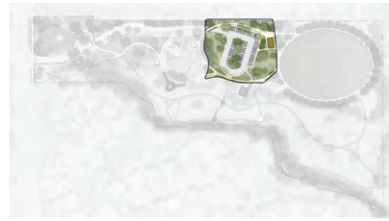
The proposed parking lot improvements would consist of asphalt or concrete drives, permeable pavers for the parking stalls, and a central biofiltration garden that would collect the runoff. The landscaped island will reduce the need for stormwater infrastructure and filter the runoff, which ultimately flows down the hill and into the creek.

#### LEGEND

- 1 Existing Drive
- 2 Asphalt Paving
- 3 Permeable Pavers
- 4 Drop-off Zone
- 5 Biofiltration Garden
- 6 Native Landscape
- 7 Nature Garden
- 8 Pedestrian Crossing
- 9 Existing Comfort Station







### SUSTAINABLE PARKING IMPROVEMENTS

**1 Existing Drive**

- Maintains current location and layout until it meets the pedestrian crossing as indicated on the plan below corporate

**2 Asphalt Paving**

- The reconfigured parking now allows for two-way traffic, eliminating the current dead-end parking situation
- Due to the volume of traffic and turn movements, it is recommended that the drive lanes within the parking lot be constructed of asphalt paving or concrete depending on the cost at the time of implementation
- The use of native canopy and flowering trees within and along the perimeter of the parking lot will provide shade and visual interest

**3 Permeable Pavers**

- Used in the parking fields only
- Reduces the visual and environmental impact of the parking lot
- Allows for natural stormwater drainage and groundwater recharge
- Allows for rapid removal of stormwater through openings
- Provides an opportunity for educational signage associated with the paving system

**4 Drop-off Zone**

- Allows for a designated drop-off lane for park users
- Centrally located within the park
- Immediate connections to park trail system

**5 Biofiltration Garden**

- The use of bioswales within the islands can help capture parking lot runoff for on-site filtration and detention slowing release into the creek
- Biofiltration gardens are special gardens that capture run-off water from pavements and allow the water to soak into the earth.
- Specialized plants and the soil mix filter silts and pollutants out of the run-off water.
- The capturing and filtering of rain water helps to minimize downstream flooding and contributes to refilling of groundwater for our daily use.
- Provide habitat for flora and wildlife
- Provides an opportunity for educational signage

**6 Native Landscape**

- Identify locations where existing lawn can be removed without significant impact on the current program within the park
- Incorporate bird houses and other wildlife habitat and educational tools
- Native landscapes along the trail should be held back six to ten feet from the trail edge. This edge should be maintained as a mowed lawn strip for safety and definition of the native landscape edge

**7 Nature Garden**

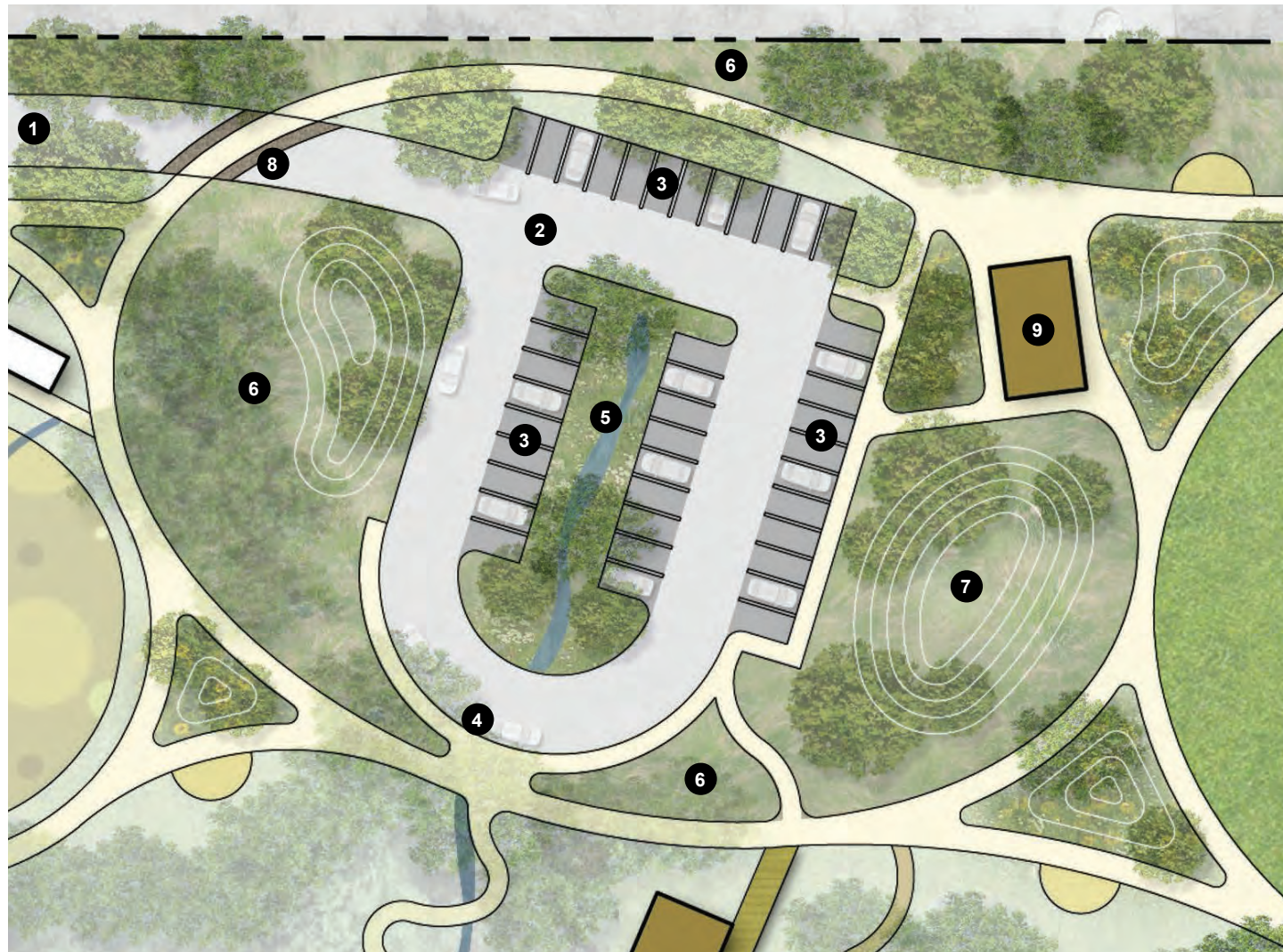
- The nature garden is an area of the park solely dedicated to bird, insect and other wildlife observation.
- Within the nature garden unique species of plants will be fostered to provide habitat for Missouri native species.
- Incorporate bird houses and other wildlife habitat and educational tools
- Educational opportunity by incorporating interpretive signage

**8 Pedestrian Crossing**

- Where the trail crosses roadways within the park, special paving or striping should be added to provide safe crossings and protect park users

**9 Existing Comfort Station**

- The existing comfort station is not altered within the new master plan
- A more detailed assessment of building conditions should be performed prior to improvements to existing comfort station or adding a new facility to the park

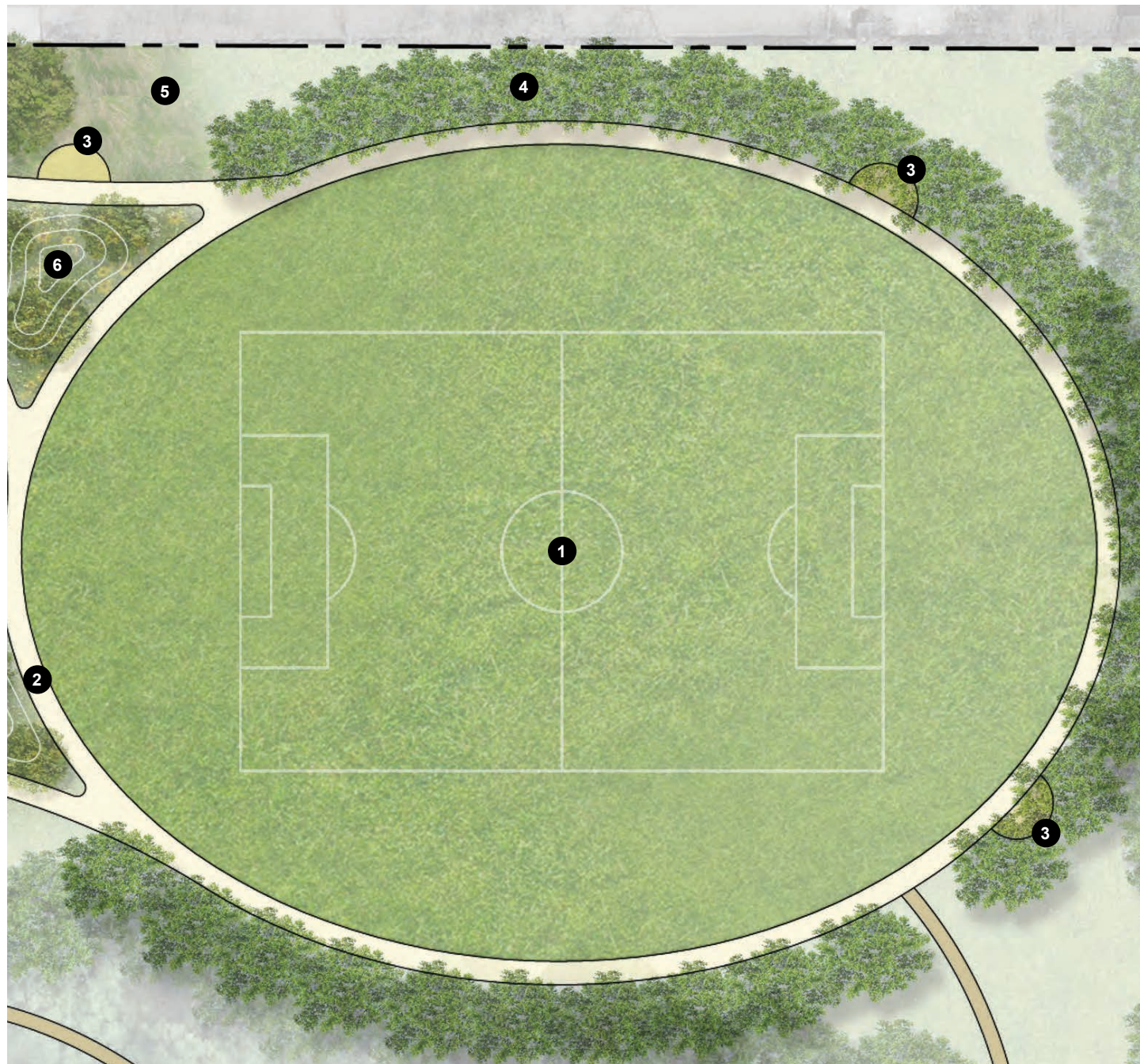






### THE GREEN

The large, open, multi-use field is located at the east end of the park and is the active recreation anchor for the park. The lawn area is approximately two acres in size and will fit a sports field 220' x 150'. The green is designed to support seasonal programmed athletics if desired, but is intended to remain an open green space a majority of the year. This space is defined by a formal tree lined, oval walk along the perimeter of the green space. Seating nodes are located along the oval walk providing seating with views of the green.



### LEGEND

- 1 The Green / Open Lawn
- 2 Concrete Walks (8' wide)
- 3 Seating Areas
- 4 Canopy Trees
- 5 Native Landscape
- 6 Landforms / Berms





## THE GREEN

### 1 The Green / Open Lawn

- Can accommodate a field with dimensions of 220' x 150' for youth athletics
- To maintain the flexibility of the space any benches, goals, or other equipment for use should be removable and not permanently installed
- Due to anticipated high use, the green will be an irrigated and mowed lawn
- An environmentally friendly maintenance program would reduce the amounts of nitrates and other chemicals within the lawn runoff. Organic fertilizers and an IPM (Integrated Pest Management) program are two examples of desired, low impact maintenance programs for the maintenance of these open lawn areas



### 2 Concrete Walks

- An 8' wide concrete oval walk defines the open lawn and provides a recreation amenity
- Connections to both the paved and natural trails
- Incorporates seating areas as well as the potential for fitness stations

### 3 Seating Areas

- Paved concrete areas for respite and watching activities on the open lawn
- Oversides concrete pads, approximately 4' x 10', provide opportunities for site furnishings such as benches, trash receptacles, as well as wheelchairs and strollers
- If desired, exercise equipment could also be designed into the seating areas

### 4 Canopy Trees

- Native trees along the perimeter of the field zone will help define the space
- Trees should be located on an equal spacing outside of the walk for scale, visual interest, and shade while not interfering with play on the fields and visibility for security

### 5 Native Landscape

- Native plant materials, that will enhance the existing plant habitats and character of the park, should be utilized when possible
- In addition to reducing maintenance needs, native areas add year round visual interest to the park, create wildlife habitat, assist in site runoff filtration, and create opportunities for education

### 6 Landforms / Berms

- Creates a buffer screen from adjacent comfort station and parking lot
- Can be planted with native landscape or simply with lawn to allow for informal seating opportunities

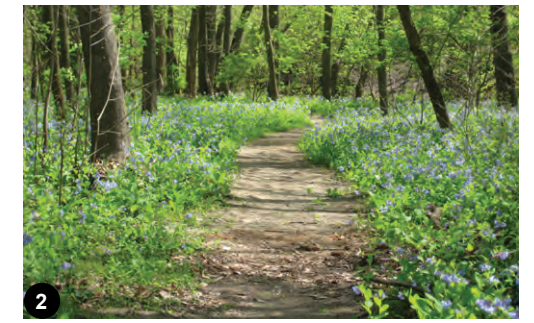




### THE WOODLAND

The Woodland runs the length of the park adjacent to the creek, and is a defining element within the park. From a long range vision for the park, the desire is to maintain this natural element and build on the recreation opportunities it provides to park visitors.

Honeysuckle removal has already begun, through a partnership with the University of Illinois, and has had a dramatic impact on the character and visibility of the woodland. Continuing a plan for eradication of the honeysuckle and reforestation with native plant communities should be a priority. From there, paved and natural surface trails can be developed in the woodlands. A layer of detail including bridges, overlooks, seating, etc. can be added to the loop trail to encourage more visitors to walk the woodland.



### LEGEND

- 1 Creek Overlook
- 2 Natural Trail
- 3 Stone Slab Trail Bridge
- 4 Seating / Exercise Node
- 5 Dry Stream Connection
- 6 Woodland Garden
- 7 Riparian Landscape & Creek Bank Stabilization
- 8 Educational Opportunities
- 9 Environmental Art
- 10 Existing Pavillion





**THE WOODLAND**

**1 Creek Overlook**

- A formal viewing platform overlooking the creek, providing an opportunity for rest or interpretive education
- Ideally the overlook should be located with views of the creek both north and south, and should be within the creek edge landscape to provide visual interest and seasonal shade
- Interpretative signage in this location will provide park users information related to the creek. This may include hydrology, fauna, and/or flora

**2 Natural Trail**

- Should be mowed or soft surface trails made of mulch, gravel or chat and could be used for hiking or off road biking
- Meandering natural surface trails can be utilized for smaller loop walks and as additional education opportunities
- Resting areas with benches and trash receptacles strategically located along the trails to take advantage of views within and out of the park

**3 Stone Slab Bridge**

- Provides access across drainage routes
- Could be scout projects or donor opportunities

**4 Seating / Exercise Node**

- Fitness and activity nodes, for adults and children, should be designed along the loop walk to promote healthy lifestyles and provide educational opportunities

**5 Dry Stream Connection**

- Natural channel feature providing a route for storm drainage after passing through the biofiltration garden
- Connection should reinforce the sustainable nature of the park improvements and reduce velocity and volume of water added to the creek

**6 Woodland Garden**

- Re-establish a native woodland floor with successful growth
- Provide seasonal color and reduce runoff down the slope

**7 Riparian Landscape & Creek Stabilization**

- Improve and enhance the creek edges to address erosion and invasive species
- Landscapes should include the establishment of woodland edges to the creeks along with understory planting
- Establish a native riparian landscape to slow runoff, provide year round visual interest, and wildlife habitat
- Should include a native landscape consisting of a mix of grasses, sedges, forbs, ferns, shrubs, and trees

**8 Educational Opportunities**

- Interpretative and educational signage should be located along the trails near the existing woodland, creek edges, and entry water feature
- This signage should inform visitors about native flora and fauna as well as concepts about water and wildlife management

**9 Environmental Art**

- Sculpture within the park as educational or visual elements. Art work may be permanent, or changed out as part of partnership with local school or artist guild

**10 Existing Pavilion**

- Remain in place with regular maintenance
- Explore possible sound deadening options





### COST OPINION

The following information provides a general opinion of probable construction costs for the implementation of the Ferris Park Master Plan. The costs are based on available information obtained by the design team during the master plan phase of work. Costs are based on 2012 construction costs and are subject to fluctuation in the market place. This information is to be used in conjunction with the master plan to establish a logical sequence of budgeted projects to be implemented by the City of Ballwin.

Opinion of probable construction costs is found on the following pages.



#### 1 PARK ENTRY / WATER FEATURE

Item	Quantity	Unit	Unit Cost	Subtotal	Notes
Entry Monument Signage	1	al	\$15,000.00	\$15,000.00	themed to park and include park name and directional information
Vehicular Bridge	1	al	\$32,000.00	\$32,000.00	
Upper Pedestrian Bridge	1	al	\$15,000.00	\$15,000.00	
Entry Water Feature	1	al	\$200,000.00	\$200,000.00	
Boardwalk / Fishing Pier	300	sf	\$75.00	\$22,500.00	
Pedestrian Bridge	1	al	\$10,000.00	\$10,000.00	
Concrete Pedestrian Paving	6,680	sf	\$7.50	\$50,100.00	835 linear feet
Pedestrian Crossing	355	sf	\$15.00	\$5,325.00	stamped, colored concrete
Entry Landscape	1	al	\$15,000.00	\$15,000.00	
Aquatic / Riparian Plantings	4000	sf	\$20.00	\$80,000.00	
General Landscape	1	al	\$2,500.00	\$2,500.00	includes perimeter trees and sod edge
			<b>Subtotal</b>	<b>\$447,425.00</b>	*



#### 2 NATURE EXPLORATION PLAYGROUND

Item	Quantity	Unit	Unit Cost	Subtotal	Notes
Playground Equipment and Surfacing	1	al	\$350,000.00	\$350,000.00	
Small Shelter	1	ea	\$75,000.00	\$75,000.00	structure with architectural detail
Composting Restroom	1	al	\$100,000.00	\$100,000.00	
Water Play Feature	1	al	\$50,000.00	\$50,000.00	
Boardwalk / Overlook Structure	1,025	sf	\$125.00	\$128,125.00	
Grading / Landforms	1	al	\$10,000.00	\$10,000.00	
Concrete Pedestrian Paving	7,665	sf	\$7.50	\$57,487.50	875 linear feet; 665 SF pads
Site Furnishings	1	al	\$15,000.00	\$15,000.00	benches, trash, and bike racks
Drinking Fountain	1	al	\$7,500.00	\$7,500.00	
Stone Amphitheater / Outdoor Classroom	1	al	\$50,000.00	\$50,000.00	
Landscape	1	al	\$15,000.00	\$15,000.00	
			<b>Subtotal</b>	<b>\$858,112.50</b>	**

\* Park zone cost summary does not include contingency, general conditions, or design fees. These items are included with the overall master plan costs described on the bottom of page 55.

\*\* Refer to appendix for updated cost estimate of the Phase One grant application.



#### 3 SUSTAINABLE PARKING LOT IMPROVEMENTS

Item	Quantity	Unit	Unit Cost	Subtotal	Notes
Demolition of Existing Parking Lot	1	al	\$7,500.00	\$7,500.00	10,800 sf of parking
Demolition of Playground	1	al	\$10,000.00	\$10,000.00	5,075 sf of playground
Grading / Landforms	1	al	\$15,000.00	\$15,000.00	
Asphalt Pavement	10,560	sf	\$4.00	\$42,240.00	3" asphalt over 8" base material
Pervious Paving	6,670	sf	\$16.00	\$106,720.00	
Curb and Gutter	966	lf	\$12.00	\$11,592.00	
Bio-filtration Rain Garden	4,000	sf	\$15.00	\$60,000.00	
Pedestrian Crossing	565	sf	\$15.00	\$8,475.00	stamped, colored concrete
Landscape	1	al	\$20,000.00	\$20,000.00	
Site Furnishings	1	al	\$20,000.00	\$20,000.00	trash, bike racks, interpretative signage, and wildlife houses
Entry Drive and Parking Lot Security Lighting	1	al	\$30,000.00	\$30,000.00	
Concrete Pedestrian Paving	11,553	sf	\$7.50	\$86,647.50	
			<b>Subtotal</b>	<b>\$418,174.50</b>	*



#### 4 THE GREEN

Item	Quantity	Unit	Unit Cost	Subtotal	Notes
Open Lawn / Multi-Purpose Field	2	ac	\$35,000.00	\$70,000.00	grading and sod, 80,775 SF
Field Irrigation	80,775	sf	\$1.25	\$100,968.75	irrigation of open lawn / multi-purpose field
Grading / Landforms	1	al	\$7,500.00	\$7,500.00	
Concrete Pedestrian Paving	11,560	sf	\$7.50	\$86,700.00	1320 linear feet; seating nodes
Drinking Fountains	1	al	\$15,000.00	\$15,000.00	multiple fountains
Site Furnishings	1	al	\$5,000.00	\$5,000.00	trash and bike racks
Landscape	1	al	\$7,500.00	\$7,500.00	east side buffer landscape; perimeter trees
			<b>Subtotal</b>	<b>\$292,668.75</b>	*



#### 5 THE WOODLAND

Item	Quantity	Unit	Unit Cost	Subtotal	Notes
Bioswale Feature from Parking Lot	1	al	\$10,000.00	\$10,000.00	riffles, boulders, and landscape
Pedestrian Bridge	2	ea	\$7,500.00	\$15,000.00	
Natural Trail	15,580	sf	\$5.50	\$85,690.00	5' wide natural surface
Creek Overlook	1	al	\$25,000.00	\$25,000.00	
Creek / Riparian Stabilization	1	al	\$150,000.00	\$150,000.00	3,100 liner feet (1,050 per side)
Woodland Establishment	5	acre	\$7,500.00	\$33,750.00	
Concrete Pedestrian Paving	1,550	sf	\$7.50	\$11,625.00	175 linear feet, 2 nodes
Site Furnishings	1	al	\$15,000.00	\$15,000.00	interpretative signage, benches, wildlife houses
			<b>Subtotal</b>	<b>\$346,065.00</b>	*

**Subtotal: \$2,362,445.75**

10% General Conditions \$236,244.58  
 15% Construction Contingency \$354,366.86  
**Construction Subtotal: \$2,953,057.19**

Topographic Site Survey \$25,000.00  
 12% Design, Engineering, and Permit Submittal Fee \$354,366.86  
**Grand Total: \$3,332,424.05**

Notes:  
 1. Cost Opinion is based on 2012 costs.  
 2. Typical rate of inflation is 3% per year.  
 3. Cost Opinion does not include site utilities & infrastructure.

**KEY**  
 ea - each      sf/ft - square foot of wall face  
 lf - linear foot      cy - cubic yard  
 ls - lump sum      sy - square yard  
 sf - square foot      NIC - not in contract  
 al - allowance      Cal - caliper



# IMPLEMENTATION PRIORITIES

## CHAPTER SIX

Following the master planning process, implementation priorities were identified with staff to assist the city in their execution of the Master Plan.

Existing funding opportunities makes full implementation cost prohibitive at this time. This master plan is intended to be a long-range planning document from which full implementation can occur in a series of phases based on available funding. The plan allows projects and implementation costs to be identified for capital budgets and funding assistance applications.

During implementation, priorities may change, or developments may occur that present opportunities for implementation of projects out of the anticipated priority sequence. Therefore, the following recommendations are intended as a starting point for implementation while providing the flexibility for change if needed. It is important that the recommendations in this master plan be evaluated and implemented as funding and needs dictate.

As projects are implemented, consideration should be given to

maintenance, programming and staffing expenses associated with these improvements. Sustainable design solutions should also be explored during the implementation of the plan. More information about sustainable design practices can be found at the following website <http://www.sustainablesites.org>.

Priority projects were identified from the master plan as foundation amenities to meet active and passive recreation needs within the park. The following pages identify those priority findings.





**PRIORITY ONE - NATURE EXPLORATION PLAYGROUND**

The nature play zone of the park was selected as a first phase priority, and has been submitted for Round 13 Municipal Parks Grant in October 2012. The key reasons this project was selected include:

- located in current open space so it will require minimal demolition and impact on other park amenities.
- provides multi-use space for a variety of age ranges
- create a destination within the park



**PRIORITY TWO - SUSTAINABLE PARKING LOT IMPROVEMENTS**

Following completion of the playground, it is anticipated that the park will see an increase in users. With that understanding the new parking lot is identified as the second priority. Key components in this phase include:

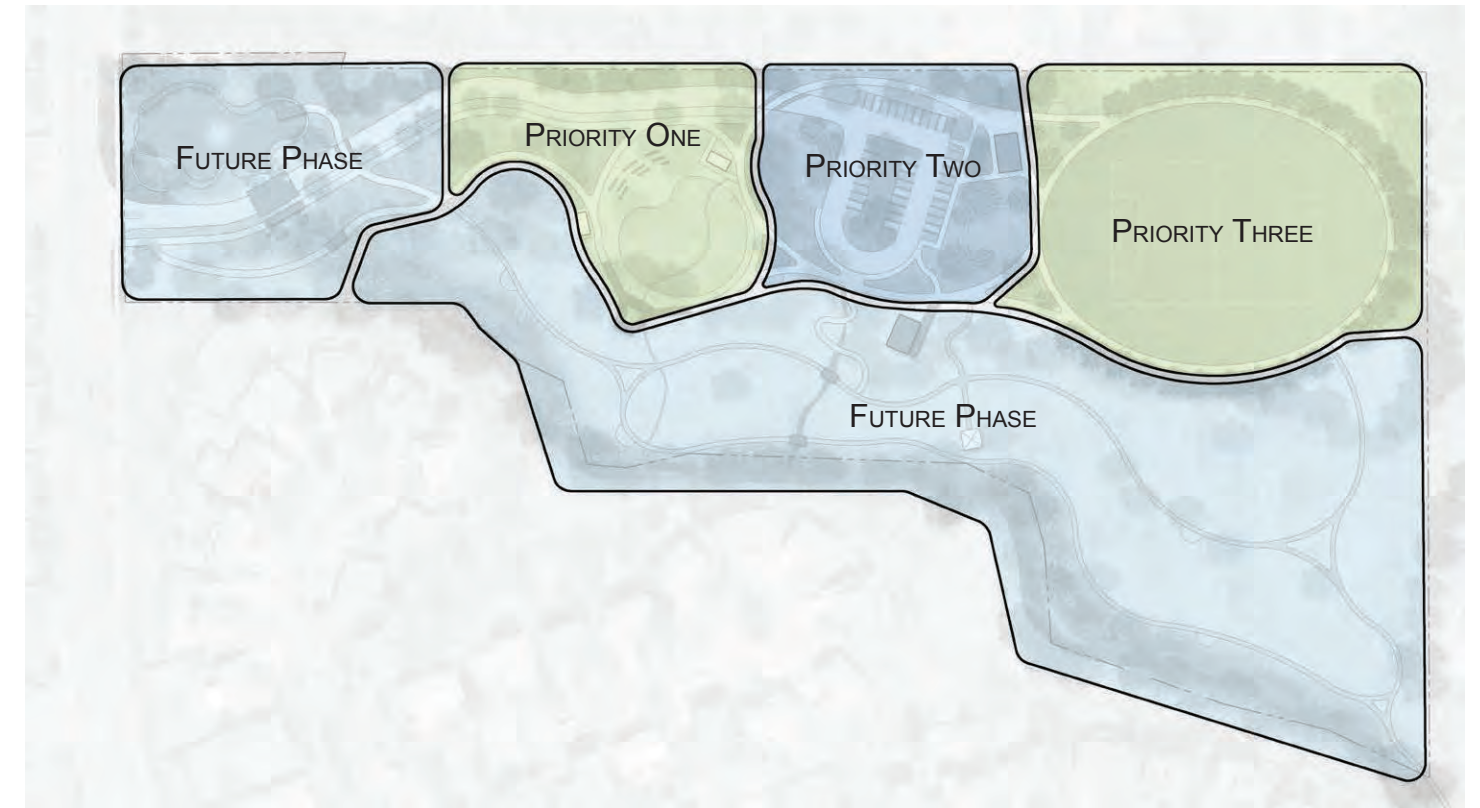
- expanded and reconfigured parking
- drop-off and loop drive to replace current dead-end parking
- center island biofiltration garden for water quality, and reduced quantity and velocity of the site drainage into the creek and storm sewer
- permeable paving for parking stalls



**PRIORITY THREE - THE GREEN**

The third priority is the event / open play lawn. This phase will complete the improvements along the north side of the park as well as balancing the active and passive improvements to the park. The improved "green" will provide a more usable practice space within the park and add a walking loop trail. Key components of the green include:

- regraded and irrigated multi-use lawn
- ADA accessible loop walk with connections to parking lot and overall trail system
- seating and possible fitness stations along the walk



Implementation priority zones



Entry and Water Feature zone



The Woodland zone

**FUTURE PHASES**

Future implementation phases include the park entry and the woodland. These areas of the park include a wide range of improvement recommendations from landscape elements to development of stormwater detention and creek bank stabilization. As a result, portions of these phases may have an ongoing implementation schedule that overlaps the three priority phases and continues beyond, such as honeysuckle removal and woodland reestablishment. Other components will require additional studies and development for implementation due to the impact on existing storm sewer and site drainage conditions, resulting in a more long term implementation schedule.



# FUNDING OPPORTUNITIES / NEXT STEPS

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## CHAPTER SEVEN

An evaluation of financing alternatives and methods for development of major improvement plan projects was conducted. This evaluation included:

- Identification and definition of potential funding sources.
- Identification of individual grants available through federal, state, and other sources.

### TYPES AND DEFINITIONS

Parks and Recreation projects are funded in a multitude of manners. Methods of financing projects used in various Missouri communities are identified for consideration in funding the City of Ballwin programs and projects. These methods and their definitions follow.



### Dedication /Development Fees

Dedication of open space or payment of fees for park development or recreation purposes. As open space is consumed, developers may either dedicate a portion of the property for open space or in lieu of land, pay an impact development fee so that alternate open space may be purchased.

### Foundations / Grants / Gifts

Tax-exempt, non-profit organizations established with private donations in promotion of specific causes, activities, or issues. Offers a variety of means to fund capital projects including capital campaigns, gift catalogs, fund raisers, endowments, and sales of items. Included in this document is a summary of various grants that are available to parks and recreation agencies and cosponsored organizations.

### Activity and / or User Fees

This is a dedicated user fee established by ordinance for the purpose of constructing and maintaining recreation facilities and programs. The fee applies to all organized activities that require a paid registration or reservation of some type. Fees are based on activity level. For example, in sports leagues each participant may be charged \$1.45 per scheduled game with \$1.00 going to offset operating and maintenance costs (mowing, utilities, field preparation, etc...) and \$0.45 used for construction or renovation of facilities. The enticement is that it is the users that pay and the funds are earmarked for the facilities that generate the revenue. Departments also have the opportunity of developing Resident and Non-Resident Fees. Those who reside within the city limits pay a reduced fee compared to those who live outside of the city limits.

### Sales Tax Dedicated to Capital Improvements

In 1995, state-enabling legislation was passed allowing Missouri cities and counties to pass up to a half-cent sales tax for parks and recreation (and/or storm water control). Bowling Green has adopted such a tax and currently funds some park improvements in this manner. Another sales tax option is to seek a half-cent sales tax issue to pay off sales tax bonds. This requires a super majority (four-sevenths) for passage.

### Land and Water Conservation Fund (LWCF)

Grants available to cities, counties and school districts to be used for outdoor recreation projects. Projects require a 55 percent match. All funded projects are taken under perpetuity by the National Park Service and must only be used for outdoor recreational purposes. Development and renovation projects must be maintained for a period of 25 years or the life of the manufactured goods. Grant cap has been set at \$150,000.

### Recreational Trails Program (RTP)

Grants to be used for motorized or non-motorized trail development, renovation, maintenance and/or the development/renovation of trailheads. Projects require a minimum match of 20 percent. All projects must be maintained for a period of 25 years. Grant requests up to \$100,000 are eligible. Eligible applicants include cities and counties, schools, and private, non-profit, and for-profit businesses.

### Landmark Local Parks Program

In 1996, Governor Carnahan created a matching grant program to fund local parks and recreation projects in Missouri. The funds are available for outdoor recreation projects.

### General Obligation Bonds

Bonded indebtedness issued with the approval of the electorate for capital improvements and general public improvements. Approval requires a super majority (four-sevenths) vote for passage during general elections, primary or general elections and a two-thirds majority at all other elections.

### Revenue Bonds

Revenue bonds are municipal securities that are secured by the revenues or receipts of a project or special fund rather than the full taxing power of the borrower. Revenue bonds may be issued if approved by a simple majority.

### Ad Val Orem Property Tax

Tax levied on the assessed valuation of all non-exempt real and personal property.

### Hotel, Motel and Restaurant Tax

Tax based on gross receipts from charges and meal services which may be used to build and operate golf courses, tennis courts and other special park and recreation facilities.

### Special Improvement District / Benefit District

Taxing districts established to provide funds for certain types of improvements, which benefit a specific group of affected properties. Improvements may include landscaping, the erection of fountains, the acquisition of art, and supplemental services for improvement and promotion, including recreation and cultural enhancements.

### Tax Increment Financing

The concept behind the tax increment financing is that taxes in a designated area are frozen and the redevelopment that occurs in the blighted, conservation or economic development area will increase the assessed valuation of the property and generate new property tax revenues. The increase can be used on an annual basis to retire revenue bonds issued to finance redevelopment costs. A great deal of development is required to generate sufficient revenues to make it work.

### Lease Purchased Financing

Facilities for public use financed and built through an entity separate from the municipality – either another public entity, a non-profit corporation set up for that purpose, a bank, a leasing company, or joint powers authority. There are several types of lease purchase funding mechanisms, including certificates of participation in which investors can purchase tax free investments in the leased facility, and sales leaseback which is a means for public entities to sell an existing facility to a separate entity such as a non-profit organization, an investor, or a group of investors. Improvements can be made by the separate entity who then leases the facility back to public entity for an agreed to period of time and interest rate.

### Interlocal Agreement

Contractual relationships entered into between two or more local units of government and/or between a local unit of government and a non-profit organization for the joint usage/development of a program or facility.

### Private Concessionaires

Contracts with private business to provide and operate desirable recreational activities financed, constructed and operated by the private sector with additional compensation paid to the City.



### Transportation Equity Act for the 21st Century

The Federal Government authorized this funding program, commonly called TEA-21. Funds are distributed through the Missouri Highway and Transportation Commission. There are enhancement dollars available for transportation related projects including bicycle and pedestrian trails, rail depot rehabilitation, landscaping, and beautification programs.

### Neighborhood Assistance Program

In 1978 Missouri became the third state in the nation to adopt legislation creating a NAP. Any person, firm, or corporation in the state is eligible to receive NAP credit by making an eligible contribution to an approved NAP in Missouri. The amount of tax credit is generally equal to half of the contribution (70% for projects in some communities under 15,000 population). NAP credits may only be used to offset income tax, franchise tax, financial institution tax, gross premium receipts tax and gross receipts tax. Only 501 (c)(3) organizations, Missouri businesses, and nonprofit organizations authorized to operate in Missouri are eligible applicants.

## FEDERAL GRANTS

### Pollution Prevention Grants

Environmental Protection Agency  
Michele Amhaz  
Pollution Prevention Division (7409M)  
Office of Pollution Prevention and Toxics  
Environmental Protection Agency  
1200 Pennsylvania Ave, NW.  
Washington, DC 20460-0001  
Telephone: 1-202-564-8857  
E-mail [amhaz.Michele@epa.gov](mailto:amhaz.Michele@epa.gov)  
<http://www.epa.gov/p2/>

### Recreational Program Grants

CFDA #84.128J  
Kerrie Brown  
U.S. Department of Education, OSERS  
400 Maryland Avenue, SW, Room 3329, MES  
Washington, DC 20202-2647  
Telephone: 1-202-401-9707  
E-mail [Kerrie.brown@ed.gov](mailto:Kerrie.brown@ed.gov)  
<http://www.ed.gov/programs/rsarecreation/index.html>

### Land and Water Conservation Fund

Division of State Parks & Historic Preservation  
Department of Natural Resources  
P.O. Box 176  
Jefferson City, MO 65102-0176  
Telephone: 1-573-751-2479  
<http://www.ncrc.nps.gov/lwcf>

## STATE GRANTS

### Landmark Local Parks Program

Grant Management Section  
P.O. Box 176  
Jefferson City, MO 65102  
Telephone: 1-573-751-8560  
E-mail: [moparks@dnr.mo.gov](mailto:moparks@dnr.mo.gov)  
<http://www.mostateparks.com>

### Recreational Trails Program

Grant Management Section  
P.O. Box 176  
Jefferson City, MO 65102  
Telephone: 1-573-751-0848  
E-mail: [moparks@dnr.mo.gov](mailto:moparks@dnr.mo.gov)  
<http://www.mostateparks.com/grantinfo.htm>

### Waste Tire Grants

Missouri Department of Natural Resources  
Solid Waste Management Program  
P.O. Box 176  
Jefferson City, MO 65102  
Telephone: 1-573-751-5401  
[http://www.dnr.state.mo.us/financialopp/solid\\_waste.htm](http://www.dnr.state.mo.us/financialopp/solid_waste.htm)

### Historic Preservation

Department of Natural Resources  
Division of State Parks  
P.O. Box 176  
Jefferson City, MO 65101  
Telephone: 1-800-334-6946  
E-mail: [moparks@dnr.mo.gov](mailto:moparks@dnr.mo.gov)

### Community Assistance Program

(lake/pond management)  
Missouri Department of Conservation  
P.O. Box 180  
Jefferson City, MO 65102-0180  
<http://www.conservation.state.mo.us/>

### TRIM II

(Tree Resource Improvement and Maintenance Program)

### Community Forestry Coordinator

Forestry Division  
Missouri Department of Conservation  
P.O. Box 180  
Jefferson City, MO 65102-0180  
Telephone: 1-573-522-4115, ext. 3116  
<http://www.conservation.state.mo.us/>

## OTHER GRANTS

### National Fish & Wildlife Foundation Five-Star Restoration Challenge Program

(wetland, riparian, or coastal habitat restoration)  
Lisa Burban, Group Leader/Urban Forester  
USDA Forest Service -- NA S&PF  
1992 Folwell Ave.  
St. Paul, MN 55108  
Phone: 651-649-5245  
Fax: 651-649-5238  
<http://www.nfwf.org/programs/5star-rfp.htm>

### Partnership Enhancement Monetary Grant Program

(for organizations whose programs & activities are managed by volunteers-need to establish a "Tree-Keeper" Volunteer group to apply)  
National Tree Trust  
1120 G Street NW, Suite 770  
Washington DC 20005  
Phone: (202) 628-8733  
Fax: (202) 628-8735  
<http://www.nationaltreetrust.org/>

## NEXT STEPS

The master plan process is only the first step in the improvements for Ferris Park and the City of Ballwin. Following completion of this planning document there are several steps to be taken by the city to continue the park on its path to implementation.

### Formal Adoption of the Plan

The first step following completion on the plan is to seek formal adoption of the plan by the City Council. Following adoption of the plan, actions can be taken to begin implementation.

### Priority One - Playground

In October 2012 the City of Ballwin will submit the playground for a Municipal Parks Grant, Round #13. If approved for funding, the city will receive up to \$310,000 towards the development of the playground. Notification of the grant award is scheduled for December 2012 or January 2013, and if awarded, the Phase One Improvements could be completed by the end of 2013.

### Continued Support and Communication with Neighbors

Support established during the community meetings and throughout the planning process should be continued and strengthened following adoption of the plan. This support will help to maintain the momentum established within the planning process.

### Pursue Funding

A number of funding opportunities have been identified in this document. The City of Ballwin should explore the most viable of these options based on existing situations while remaining open to new opportunities based on future studies and planning.





7722 Big Bend Blvd.  
St. Louis, Missouri 63119  
p. 314.644.5700  
f. 314.644.6378  
[www.swtdesign.com](http://www.swtdesign.com)





APPENDIX



# FERRIS PARK MASTER PLAN

CITY OF BALLWIN

OCTOBER 2012





# APPENDIX

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## **1. Illustrative Master Plan**

## **2. Public Forum #1**

- May 8, 2012
- Agenda
- Presentation
- Sign-in Sheet
- Summary
- Feedback Forms
- Community Plans

## **3. Public Forum #2**

- July 19, 2012
- Presentation
- Sign-in Sheet
- Community Input

## **4. Municipal Parks Grant Application - Round #13**

- Initial Concept
  - Revised Concept
  - Cost Opinion
-





**LEGEND**

- |                           |                                                  |
|---------------------------|--------------------------------------------------|
| 1 Enhanced Park Entry     | 10 Biofiltration Garden                          |
| 2 Water Feature           | 11 Native Landscape                              |
| 3 Bridge                  | 12 The Green                                     |
| 4 Exploration Playground  | 13 Creek Overlook                                |
| 5 Outdoor Classroom       | 14 Natural Trail                                 |
| 6 Small Shelter           | 15 Riparian Landscape & Creek Bank Stabilization |
| 7 Future Restroom         | 16 Existing Comfort Station                      |
| 8 Boardwalk / Overlook    | 17 Existing Pavilion                             |
| 9 Sustainable Parking Lot |                                                  |



# City of Ballwin, Missouri

Ferris Park Master Plan

Public Workshop #1 - Agenda

May 8, 2012



1. FERRIS PARK MASTER PLAN INTRODUCTION
2. SWT DESIGN INTRODUCTION
3. MASTER PLANNING PROCESS
4. PROJECT SCHEDULE
5. FERRIS PARK - COMMUNITY CONTEXT
6. FERRIS PARK – EXISTING CONDITIONS
7. MASTER PLAN WORKSHOP AND DISCUSSION
8. NEXT STEP:
  - Design Concepts – Meeting Date TBD







SWT DESIGN IS AN ENVIRONMENTALLY CONSCIOUS, HIGH DESIGN,  
PLANNING AND LANDSCAPE ARCHITECTURE FIRM.



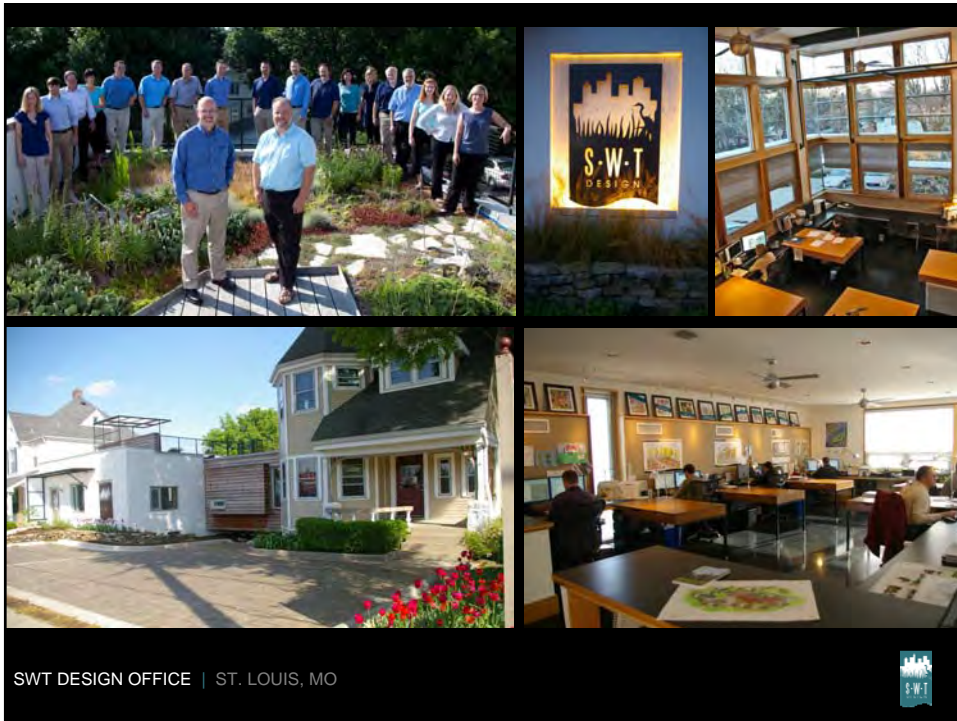
## FERRIS PARK MASTER PLAN BALLWIN, MISSOURI

PUBLIC WORKSHOP #1

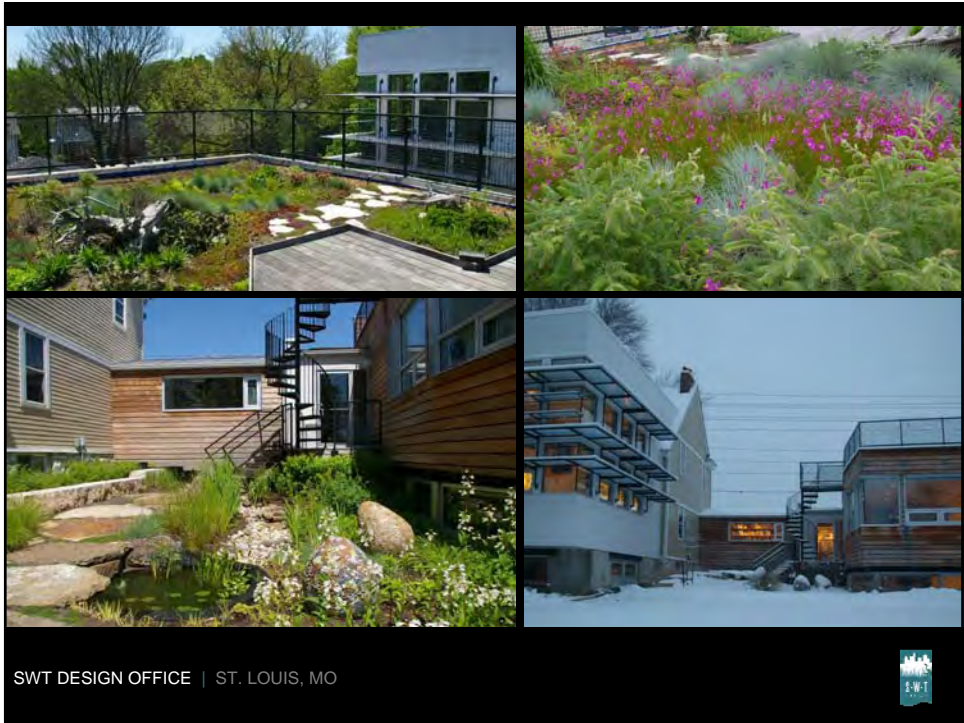
MAY 8, 2012



# SWT DESIGN INTRODUCTION

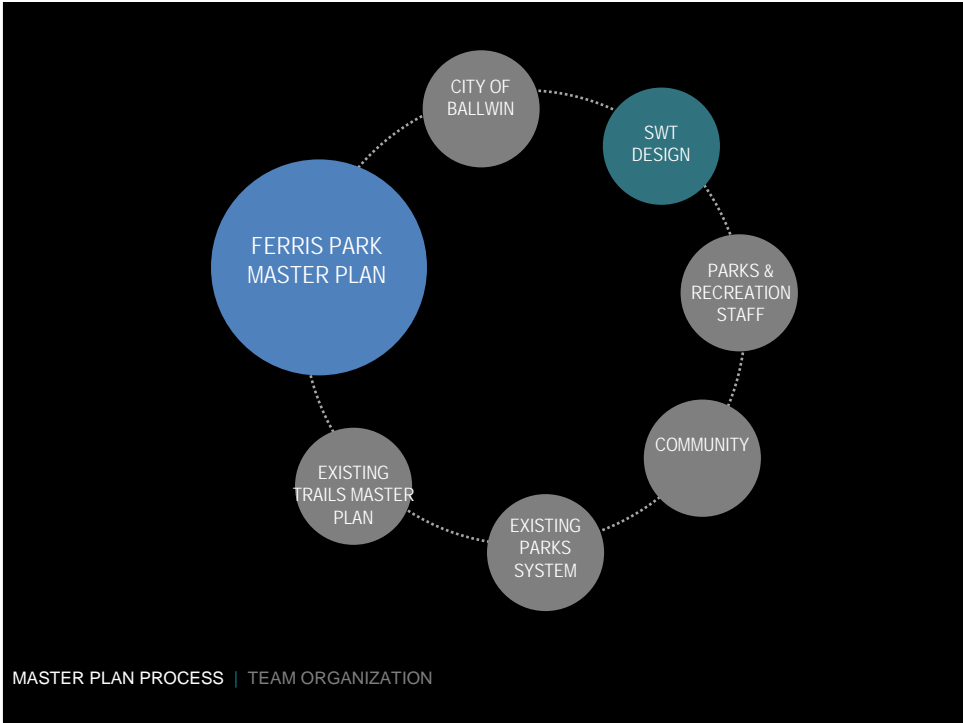






## MASTER PLAN PROCESS








DATA COLLECTION

PROGRAM DEVELOPMENT

CONCEPTS

FINAL MASTER PLAN

- Kickoff Meeting
- Site Context
- Photo and Site Inventory
- Review Existing Documents & Plans
- Programming and Use
- Community Input





MASTER PLAN PROCESS | PROJECT START-UP / DATA COLLECTION


DATA COLLECTION

PROGRAM DEVELOPMENT

CONCEPTS

FINAL MASTER PLAN

- Identify opportunities and constraints
- Analysis of overall parks system amenities
- Refine programs based on analysis and community input
- Park and Recreation benchmark comparisons
- Demographics and Standards Analysis
- Appropriate uses and capacity





LOCATION/PARK TYPE	SIZE (ACRES)	SWIMMING POOL	GROUP PICKNIC AREA	PLAY AREA	BASEBALL FIELD	FOOTBALL FIELD	SOCCER FIELD	TENNIS COURT	MULTI BALL COURT	SKATING AREA	SLED HILL	CLIMBING WALLS	PAVING AREA	TRAIL	GOLF COURSE	FISHING AREA
<b>Multi-Purpose Parks</b>																
Bohn-Schunke Park	49.1	4	1	1	1		4	1	1	1					1	
Miller Park	2.2			2	1			2	1							
<b>Neighborhood Parks</b>																
Meadow Ridge Park	14.5			1	1										1	

MASTER PLAN PROCESS | PROGRAM DEVELOPMENT



DATA COLLECTION    PROGRAM DEVELOPMENT    CONCEPTS    FINAL MASTER PLAN

- Design concepts providing unique recommendations for amenities and layout
- Cost / Financial Alternatives
- Phasing options
- Design concept images
- Opportunity for client comment & feedback

MASTER PLAN PROCESS | CONCEPTUAL

DATA COLLECTION    PROGRAM DEVELOPMENT    CONCEPTS    FINAL MASTER PLAN

- Master Plan graphic indicating layout and amenities.
- Illustrative plan and concept imagery will be provided
- Narrative report of the design with associated cost opinion



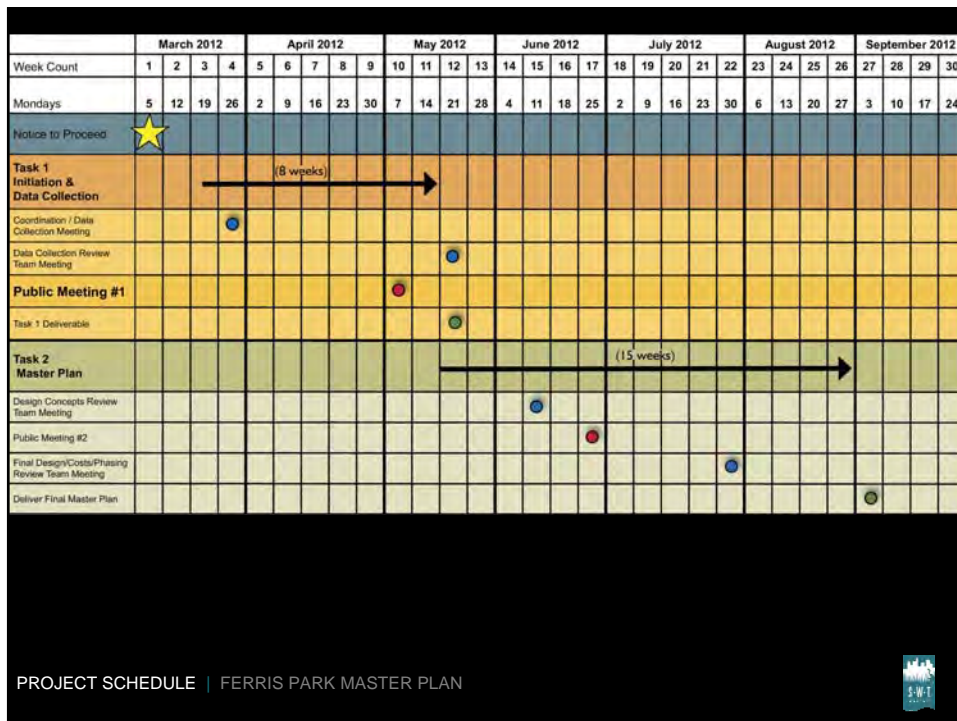

A.	Rough Site Grading	\$650,000
B.	Infrastructure	\$1,400,000
C.	Quiet Field & Maintenance	\$2,800,000
D.	Passive Recreation / Playgrounds	\$2,300,000
E.	Soccer Field Improvements	\$1,900,000
F.	Tournament Field	\$450,000
<b>Total</b>		<b>\$9,800,000</b>

7222 Big Bend Blvd • St. Louis, MO • 63119 • 314.844.5750

MASTER PLAN PROCESS | FINAL MASTER PLAN REPORT



# PROJECT SCHEDULE

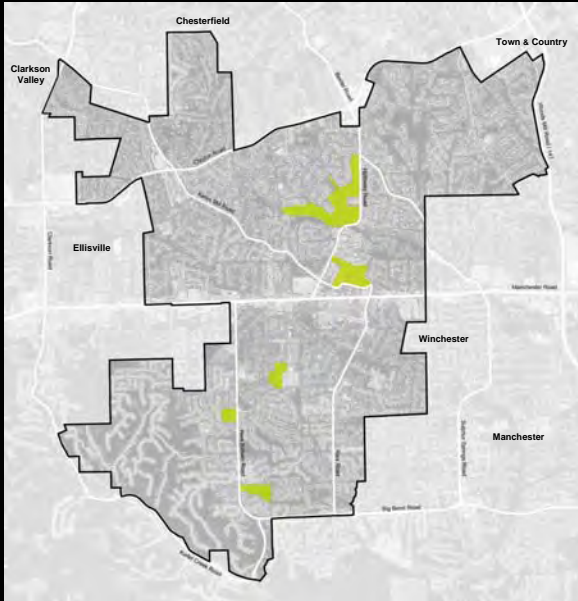




# DATA COLLECTION

## City of Ballwin

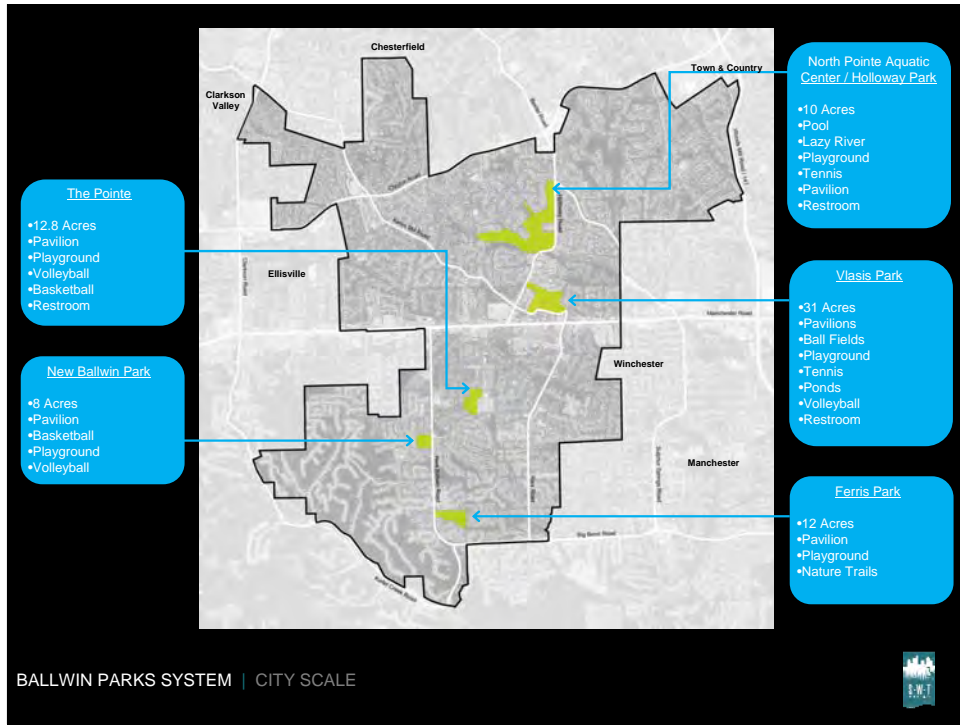
- Population of 30,404
- 10 Square Miles
- 9,900 Single Family Homes
- 5 City Parks
- 75 Acres
- Community Center at The Pointe
- 9-Hole Golf Course



The Ballwin Parks and Recreation Department creates opportunities for our community to discover and grow by bringing people together in a healthy and enjoyable environment. As a staff, we value... healthy lifestyles, integrity, innovation, environmental consciousness and those we serve...



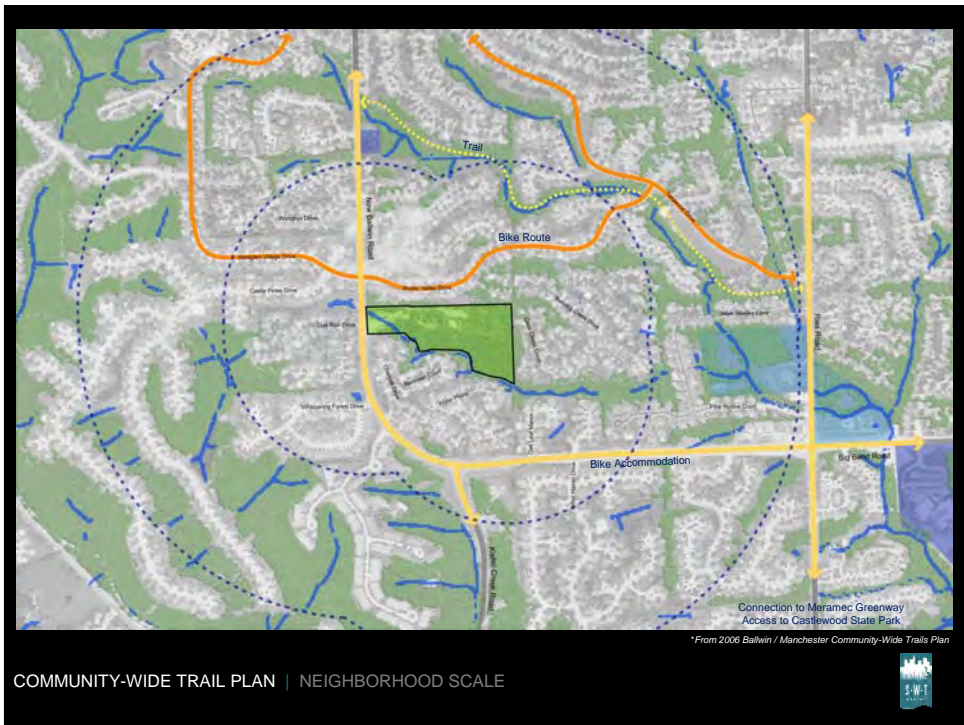
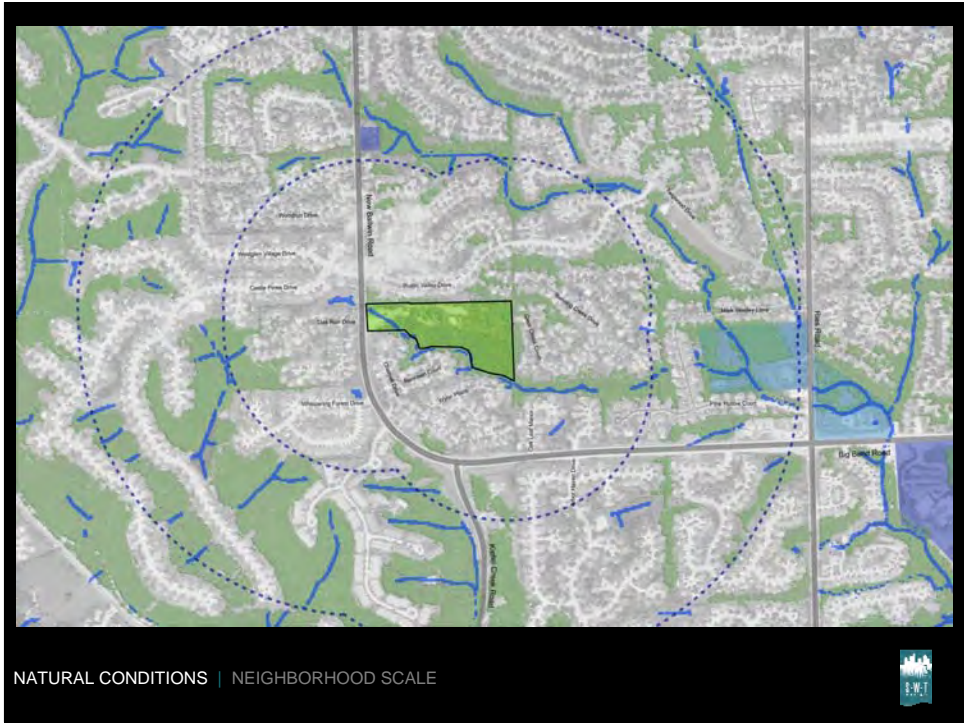




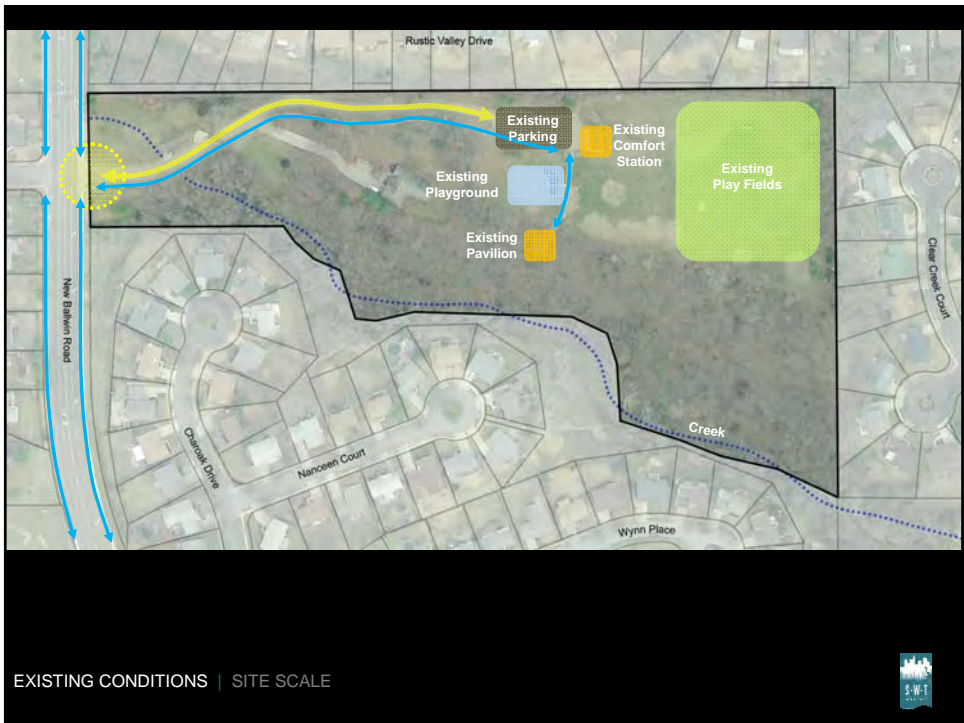
























SITE PHOTOS | EXISTING CONDITIONS



SITE PHOTOS | EXISTING CONDITIONS





City of Ballwin, Missouri



Ferris Park Master Plan  
Public Workshop #1 - Sign In Sheet  
May 8, 2012

Name	Address	Email
<u>Eric Tanner</u>	<u>749 Woodlawn Dr</u>	<u>EricPTanner@gmail.com</u>
<u>DAN CORSARI</u>	<u>696 Clear Creek</u>	<u>Dan@Corsari.org</u>
<u>Roberta Ross</u>	<u>4 Blaydwarro Ct</u>	<u>BOBBEEROSS@AOL.COM</u>
<u>Nick Harbaugh</u> <u>Laura + Graeme Gray</u>	<u>565 Vogel Dr.</u> <u>657 Snowplace Ct.</u>	<u>NicholasHarbaugh@hotmail.com</u> <u>gebay1s@gmail.com</u>
<u>Mary Schlumberger</u>	<u>631 Nanceen Ct</u>	<u>mschlump@hotmail.com</u>
<u>MARK HARDER</u>	<u>592 Lerug Ct</u>	<u>MTHARDER@AOL.COM</u>
<u>Bobshou Ann Lynch</u>	<u>635 Nanceen Ct</u>	<u>Lynchlouann@gmail.com</u>
<u>Sue Phillips</u>	<u>627 Nanceen Ct</u>	<u>bobrsue@gmail.com</u>
<u>Rick ROBBENSON</u>	<u>204 G BEECHMORE</u>	<u>rickrobbenson</u> <u>@42400.COM</u>
<u>Olivia Pieknik</u>	<u>385 Walnut Pt Ct.</u>	<u>olivia.pieknik@gmail.com</u>
<u>Mindy Fox</u>	<u>626 Nanceen Ct</u>	<u>bandmfox@earthlink.net</u>
<u>Azpland</u>	<u>383 Cedar Rvn Dr.</u>	<u>adonnell.thompson@earthlink.net</u>
<u>Tom RATZKI</u>	<u>923 castle Pines Dr</u>	<u>ratzkitj@bv.com</u>
<u>Rob Schlumberger</u>	<u>631 Nanceen CT</u>	<u>rschlump@hotmail.com</u>
_____	_____	_____
_____	_____	_____







SWT DESIGN  
7722 BIG BEND BOULEVARD  
ST. LOUIS, MISSOURI 63119  
WWW.SWTDESIGN.COM  
TEL: 314-644-5700  
FAX: 314-644-6378

## PUBLIC WORKSHOP #1



PROJECT :	12-022 Ferris Park	DATE OF MEETING:	May 8 2012
DESCRIPTION:	Public Workshop # 1	SWT DESIGN REPRESENTATIVES:	Ted S., Jay W., Derek D.
MEETING LOCATION:	The Ballwin Pointe	DATE OF REPORT:	May 23 2012

### **Workshop Plan Comments**

#### **Plan 1**

- Bird watching sites and bird houses throughout park
- Keep park natural– there is a lot of wildlife that lives here (foxes, raccoons, owls, hawks, deer). We love it, others would too.
- Walk or bike trail (along creek) to connect to Valley Park Trail
- Exercise stations along the trail
- Please no lights
- Please no pavilion
- Bluebird houses
- Benches throughout the park
- Trees between park and residences to buffer noise
- Concerned about vines killing trees, erosion and steep grade along the creek bed
- Concerned about grate covering hole behind Wynn Place

#### **Plan 2**

- Water play feature
- Higher profile entrance
- Entry: new signage, natural stone
- Remodeled playground with additional parking
- Natural play area
- Rip Rap like behind Lowes
- Keep existing playing field
- Bat houses
- Restore more natural foliage
- Walking path around perimeter

#### **Plan 3**

- Enhance entrance
- Golf cart rental or transportation
- Maybe move creek over because of a sinkhole in the west side of the park
- Trail loop throughout park
- Dog park: big dog and small dog areas
- Dog drinking fountain!
- Add poop bags and disposal bins throughout the park
- Update playground!
- Cleanup the existing comfort station
- Enhance trail



- Make trail more obvious
- Existing play field: people let their dogs run free here and they shouldn't!
- Area to the south of the play field: holds water
- Keep wildlife conservation area
- Interactive wildlife features throughout the trail
- Make creek safer and enhance, especially for children
- Some water activity in the southern portion of the site
- Make trail more accessible
- Rope bridges for kids etc. around the creek area
- Common ground entrance between park and Nanceen Court
- Clean out metal bridge and trash in creek!
- Keep as natural as possible
- Connect to Ries Road

#### **Plan 4**

- Wet detention north of entrance on New Ballwin Road
- Water fall
- Frisbee golf
- Dog park
- Expand and update existing playground
- Exercise stations along trail
- Trail access to Big Bend?
- Common ground entrance to Nanceen Court
- Pools and riffles below creek

#### **Plan 5**

- Entrance sign –or– new entrance
- Dog park for small dogs (north of entrance on New Ballwin Road)
- Dams and ponds along creek
- Water feature
- Senior citizen flat walking (trail)
- 2 acres dog park
- Exercise stations, cedar 4x4's cedar, benches
- Additional parking
- Shelter adjacent to existing parking
- Pavilion installed with sound deadening material
- Trail linking pavilion to perimeter trail
- Tree houses
- Nature trail
- Walking path

#### **Feedback Forms**

##### **1. *What amenities/ activities within the park do you and your family currently enjoy?***

- Perimeter trail
- Taking grandkids to the playground
- Family baseball and soccer
- Dog walking
- Walking, bird watching and listening to nature
- Playground, just walking
- Playground, pavilion, playing field
- Pavilion, trail
- None
- Soccer field for practices
- Pavilion for parties/ gatherings
- Walking the dog



- Homeschoolers use for fun during the day
- Walking, biking
- Playground, covered shelter, trail
- None
- The shelter for parties and the playground
- Pavilion and the trail
- Ball fields

2. **What improvements, changes or additions would you & your family like to see in the park? How would these meet community needs and/or compliment the exiting recreation opportunities provided within the existing Ballwin Parks System?**

- We own two German Shepherds and enjoy walking our dogs in the park. I would like to see better reminders for “poop pick up”. We always pick up after our dogs and become concerned when others don’t because we don’t want to lose the privilege and it is being abused now.
- Stabilize the creek banks to prevent further erosion
- A dog park area
- Walking trail (loop)
- Exercise trail
- Keep it natural
- Walking/bike trail
- Bike trail to connect with Valley Park
- Please do not put in another pavilion. Ferris is behind my house and if someone is using the pavilion we can’t enjoy our deck or yard. The noise is horrible. We can not leave our windows or patio door open because of the excessive noise. We can’t have company on our deck. If we are inside and the pavilion is in use we cannot even hear our TV.
- Leave the woods
- Do not add lights
- I would like to see an ADA accessible playground or at least some accessible equipment. As a father of a special needs child, I see how she is excluded from participation in activities due to the lack of accessible equipment.
- A dog drinking fountain
- More dog friendly
- Clean out the creek area because it is very dirty and very hazardous, especially to all the children playing there
- Enhance creek and trail area!
- A lot of graffiti
- Make it easier to access through common ground
- Trail/ access through the park to Big Bend, Running Creek Drive
- Disc Golf
- Safety! Relocate (handicap accessible) playground closer to entrance and maybe put a sand volleyball court where current playground is.
- Nature settings for beauty of nature– butterfly garden, native vegetation, bird watching
- Bike/ walking path around
- Regrade soccer field; use for Frisbee, planes, kites
- No no no dog park!
- Excellent wildlife area. We enjoy families of foxes, raccoons, deer, song birds, owls, hawks. This must be a thoroughfare through.
- Bird watching stations
- Trail (walking)
- Biking trail adjoining other trails
- Additional Parking- no room to overflow into adjoining areas during high use times
- Create physical pedestrian and bicycle connections into the adjoining neighborhoods
- Attempt to retain the wooded portion of the park and the creek flow way
- Updated playground: the playground is very outdated compared to Vllasis
- Better access to Oak Hill subdivision
- Expanded trail system
- Dog park
- Exercise stations



- Water feature? –creek
- Walking trails with exercise spots
- Dog park
- More shelters to rent
- Play areas in the woods
- Water features with ponds and dam up the creek
- Add about 2 acres fenced for a dog park like that provided at the new Eberwein Park in Chesterfield
- Dogs at play with other dogs do not bark a lot

**3. What other parks within Ballwin or other communities do you and/or your family enjoy visiting? What amenities bring you to these parks?**

- This is one of the few parks in Ballwin in that it provides wildlife cover that I have enjoyed for years living adjacent to the park. I hope that corridor is somehow restored after recent defoliation.
- Bluebird, Schroeder, Vlasis, New Ballwin, Queeny, Castlewood State Park; Concerts, Hiking, Frisbee Golf
- Castlewood, Ellisville, Glencoe; love to hike, bike and bird/ nature watch
- Ballwin, Castlewood, Vlasis
- New Ballwin– walking paths, lake
- Vlasis– playground, pavilion
- North Pointe– swimming pool
- The Pointe– pool
- Castlewood, New Ballwin Park
- Bluebird Park– paved trails
- Grants Trail
- Vlasis– tennis, fishing, baseball, playground, sand volleyball
- New Ballwin– love the ducks and ducklings
- Vlasis Park– playground, water feature
- Vlasis– playground
- Castlewood– trails
- New Ballwin Park
- Vlasis Park
- Vlasis Park– playground

**General Comments**

1. Soft surface paths
2. Improved play fields
3. Re-position entry to the north
4. Permeable paving



# CITY OF BALLWIN, MISSOURI

## FERRIS PARK MASTER PLAN PUBLIC WORKSHOP #1 – Community Input Form May 8, 2012

Your thoughts regarding the master plan for the park are very important in our effort to ensure that your park meets the needs of the community. We would appreciate if you would take the time to answer the following questions. Please return this completed form on your way out this evening, or to the Parks Department at the Pointe no later than Friday May 18, 2012.

1. What amenities / activities within the park do you and your family currently enjoy?

PERIMETER Trail,

2. What improvements, changes or additions would you & your family like to see in the park? How would these meet community needs and/or complement the existing recreation opportunities provided within the existing Ballwin Parks System?

We own 2 German Shepherds & enjoy walking our dogs in the park. I would like to see better reminders for "poop pick up". We always pick up after our dogs & become concerned when others don't because we don't want to lose the privilege & it is being abused now

3. What other parks within Ballwin or other communities do you and/or your family enjoy visiting? What amenities bring you to these parks?

This is one of the few parks in Ballwin that provide wildlife cover that I have enjoyed for years living adjacent to the park. I hope that corridor is somehow restored after the recent defoliation



Thank you for taking part in the master planning process.  
Please return this form on your way out this evening, or to Linda Bruer,  
Director of Parks and Recreation at the Pointe no later than May 18, 2012.

City of Ballwin – Ferris Park Master Plan





# CITY OF BALLWIN, MISSOURI

## FERRIS PARK MASTER PLAN PUBLIC WORKSHOP #1 – Community Input Form May 8, 2012

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1. What amenities / activities within the park do you and your family currently enjoy?

walking, bird watching, listening to nature

2. What improvements, changes or additions would you & your family like to see in the park? How would these meet community needs and/or compliment the existing recreation opportunities provided within the existing Ballwin Parks System?

want to keep it natural

walking / bike trail

bike trail to connect to Valley Park

3. What other parks within Ballwin or other communities do you and/or your family enjoy visiting? What amenities bring you to these parks?

Castlewood, Ellisville, Blencoe

\* Love to hike, bike & bird/nature watch



Thank you for taking part in the master planning process.  
Please return this form on your way out this evening, or to Linda Bruer,  
Director of Parks and Recreation at the Pointe no later than May 18, 2012.

*City of Ballwin – Ferris Park Master Plan*



# CITY OF BALLWIN, MISSOURI

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1. What amenities / activities within the park do you and your family currently enjoy?

- Grandkids to the playground  
- Family Baseball + Soccer  
- Dog walking

2. What improvements, changes or additions would you & your family like to see in the park? How would these meet community needs and/or compliment the exiting recreation opportunities provided within the existing Ballwin Parks System?

Stabilize the creek banks to prevent further erosion.  
Maybe a dog park area  
Walking Trail (Loop)  
Exercise Trail

3. What other parks within Ballwin or other communities do you and/or your family enjoy visiting? What amenities bring you to these parks?

- Bluebird, Schroeder, Valois, New Ballwin, Queeny  
- Concerts, Hiking, Frisbee Golf,  
Castlewood State Park



Thank you for taking part in the master planning process.  
Please return this form on your way out this evening, or to Linda Bruer,  
Director of Parks and Recreation at the Pointe no later than May 18, 2012.

City of Ballwin – Ferris Park Master Plan





# CITY OF BALLWIN, MISSOURI

## FERRIS PARK MASTER PLAN PUBLIC WORKSHOP #1 – Community Input Form May 8, 2012

Your thoughts regarding the master plan for the park are very important in our effort to ensure that your park meets the needs of the community. We would appreciate if you would take the time to answer the following questions. Please return this completed form on your way out this evening, or to the Parks Department at the Pointe no later than Friday May 18, 2012.

1. What amenities / activities within the park do you and your family currently enjoy?

play ground  
just walking

2. What improvements, changes or additions would you & your family like to see in the park? How would these meet community needs and/or complement the existing recreation opportunities provided within the existing Ballwin Parks System?

① Please do not put another pavilion. Ferris is behind my house & if someone is using the pav. we can't enjoy our deck or yard. The noise is horrible! We can not leave our windows or patio door open because of the excessive noise. We can't have company on our deck. If we are inside & the pav is in use we can not even hear our t.v.

② Leave the woods      ③ Do not add lights

3. What other parks within Ballwin or other communities do you and/or your family enjoy visiting? What amenities bring you to these parks?

Ballwin  
Castlewood  
Vlassis



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City of Ballwin – Ferris Park Master Plan



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1. What amenities / activities within the park do you and your family currently enjoy?

Playground, Pavilion, playing field

2. What improvements, changes or additions would you & your family like to see in the park? How would these meet community needs and/or compliment the existing recreation opportunities provided within the existing Ballwin Parks System?

I would like to see an ADA accessible playground or at least some accessible equipment. As a father of a special needs child, I see how she is excluded from participation in activities due to the lack of accessible equipment

3. What other parks within Ballwin or other communities do you and/or your family enjoy visiting? What amenities bring you to these parks?

New Ballwin - Walking Paths, Lake  
Ulysses - Playground, Pavilion  
North-Pointe - Swimming Pool  
The Pointe - Pool



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City of Ballwin – Ferris Park Master Plan





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Bavilion; Trail;

2. What improvements, changes or additions would you & your family like to see in the park? How would these meet community needs and/or compliment the existing recreation opportunities provided within the existing Ballwin Parks System?

a dog drinking fountain; more dog friendly;

clean out the creek area b/c it's very dirty and <sup>very</sup> hazardous, especially to all the children playing there. But, enhance

- A lot of graffiti.

~~ennis~~ ~~tennis~~ ~~tennis~~ ~~tennis~~ ~~tennis~~!

- make easier to access thru common ground.

3. What other parks within Ballwin or other communities do you and/or your family enjoy visiting? What amenities bring you to these parks?

Castewood

New Ballwin Park

creek trail area



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City of Ballwin – Ferris Park Master Plan



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1. What amenities / activities within the park do you and your family currently enjoy?

NONE

2. What improvements, changes or additions would you & your family like to see in the park? How would these meet community needs and/or compliment the existing recreation opportunities provided within the existing Ballwin Parks System?

• Trail / Access through the park to Big Bend, Running Creek Drive

• Disc Golf

3. What other parks within Ballwin or other communities do you and/or your family enjoy visiting? What amenities bring you to these parks?

Bluebird Park - Paved Trails

Grants Trail



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*City of Ballwin – Ferris Park Master Plan*





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1. What amenities / activities within the park do you and your family currently enjoy?

Soccer field for practices  
Pavillion for parties / gatherings  
Walking the dog  
Homeschoolers use for fun during day

2. What improvements, changes or additions would you & your family like to see in the park? How would these meet community needs and/or compliment the exiting recreation opportunities provided within the existing Ballwin Parks System?

SAFETY! Relocate playground closer to entrance — handicap accesible  
Maybe a sand volleyball where present playground is.  
Nature settings for beauty of nature - butterfly garden, native vegetation  
Bike / walking path around. bird watching  
Regrade soccer field  
use for frisbee, planes, kites  
NO NO NO DOG PARK !!!

3. What other parks within Ballwin or other communities do you and/or your family enjoy visiting? What amenities bring you to these parks?

Ulassis - tennis, fishing, baseball, playground  
Sand volleyball



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City of Ballwin – Ferris Park Master Plan



# CITY OF BALLWIN, MISSOURI

## FERRIS PARK MASTER PLAN

### PUBLIC WORKSHOP #1 – Community Input Form

May 8, 2012

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1. What amenities / activities within the park do you and your family currently enjoy?

walking  
biking

2. What improvements, changes or additions would you & your family like to see in the park? How would these meet community needs and/or compliment the existing recreation opportunities provided within the existing Ballwin Parks System?

Excellent wildlife area, we enjoy families of foxes, raccoons, deer, song birds, owls, hawks, this must be a thorough fare through  
- Bird watching stations  
- trail (walking)  
- biking trail adjoining other trails

3. What other parks within Ballwin or other communities do you and/or your family enjoy visiting? What amenities bring you to these parks?

New Ballwin - love the ducks + ducklings!



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City of Ballwin – Ferris Park Master Plan





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## FERRIS PARK MASTER PLAN

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1. What amenities / activities within the park do you and your family currently enjoy?

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2. What improvements, changes or additions would you & your family like to see in the park? How would these meet community needs and/or compliment the existing recreation opportunities provided within the existing Ballwin Parks System?

1. Additional parking - no room to overflow into adjoining areas during high use times.
2. Create physical pedestrian & bicycle connections into the adjoining neighborhoods.
3. Attempt to return the wooded portion of the park to the creek flow way.

3. What other parks within Ballwin or other communities do you and/or your family enjoy visiting? What amenities bring you to these parks?

Uaso Park - Playground, water feature,

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City of Ballwin – Ferris Park Master Plan



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1. What amenities / activities within the park do you and your family currently enjoy?

*Playground, Covered golf cart trail.*

2. What improvements, changes or additions would you & your family like to see in the park? How would these meet community needs and/or compliment the existing recreation opportunities provided within the existing Ballwin Parks System?

*Updated playground. The playground is very outdated. Compare to Wags's. Better access to Oak Hill Subdivision. Expanded trail system.*

3. What other parks within Ballwin or other communities do you and/or your family enjoy visiting? What amenities bring you to these parks?

*Wags's - playground. Castlewood - Trails.*



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City of Ballwin – Ferris Park Master Plan





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1. What amenities / activities within the park do you and your family currently enjoy?

*None*

2. What improvements, changes or additions would you & your family like to see in the park? How would these meet community needs and/or compliment the exiting recreation opportunities provided within the existing Ballwin Parks System?

*Dog Park*

*~~flat trails or gentle slopes for the citizens~~  
~~to walk from parking~~  
Exercise Stations  
water feature? - creek*

3. What other parks within Ballwin or other communities do you and/or your family enjoy visiting? What amenities bring you to these parks?

*new Ballwin Parks*



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City of Ballwin – Ferris Park Master Plan



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1. What amenities / activities within the park do you and your family currently enjoy?

*the shelter for parties and the play ground*

2. What improvements, changes or additions would you & your family like to see in the park? How would these meet community needs and/or compliment the exiting recreation opportunities provided within the existing Ballwin Parks System?

- ① *Walking trails w/ exercise spots*
- ② *Dog Parks*
- ③ *More shelters to rent*
- ④ *Play areas in the woods*
- ⑤ *Water Features w/ Ponds & Dam of the creek*

3. What other parks within Ballwin or other communities do you and/or your family enjoy visiting? What amenities bring you to these parks?

*Valaris Park*



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City of Ballwin – Ferris Park Master Plan





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1. What amenities / activities within the park do you and your family currently enjoy?

*Pavilion and the Trail*

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2. What improvements, changes or additions would you & your family like to see in the park? How would these meet community needs and/or complement the exiting recreation opportunities provided within the existing Ballwin Parks System?

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3. What other parks within Ballwin or other communities do you and/or your family enjoy visiting? What amenities bring you to these parks?

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*City of Ballwin – Ferris Park Master Plan*



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1. What amenities / activities within the park do you and your family currently enjoy?

BALLFIELDS

2. What improvements, changes or additions would you & your family like to see in the park? How would these meet community needs and/or compliment the existing recreation opportunities provided within the existing Ballwin Parks System?

ADD ABOUT 2 ACRES FENCED FOR A DOG PARK LIKE THAT PROVIDED AT THE NEW EBERHARD PARK IN CHESTERFIELD - DOGS AT PLAY WITH OTHER DOGS DO NOT BARK ALOT

3. What other parks within Ballwin or other communities do you and/or your family enjoy visiting? What amenities bring you to these parks?

NALASIS PARK PLAY GROUND



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City of Ballwin – Ferris Park Master Plan





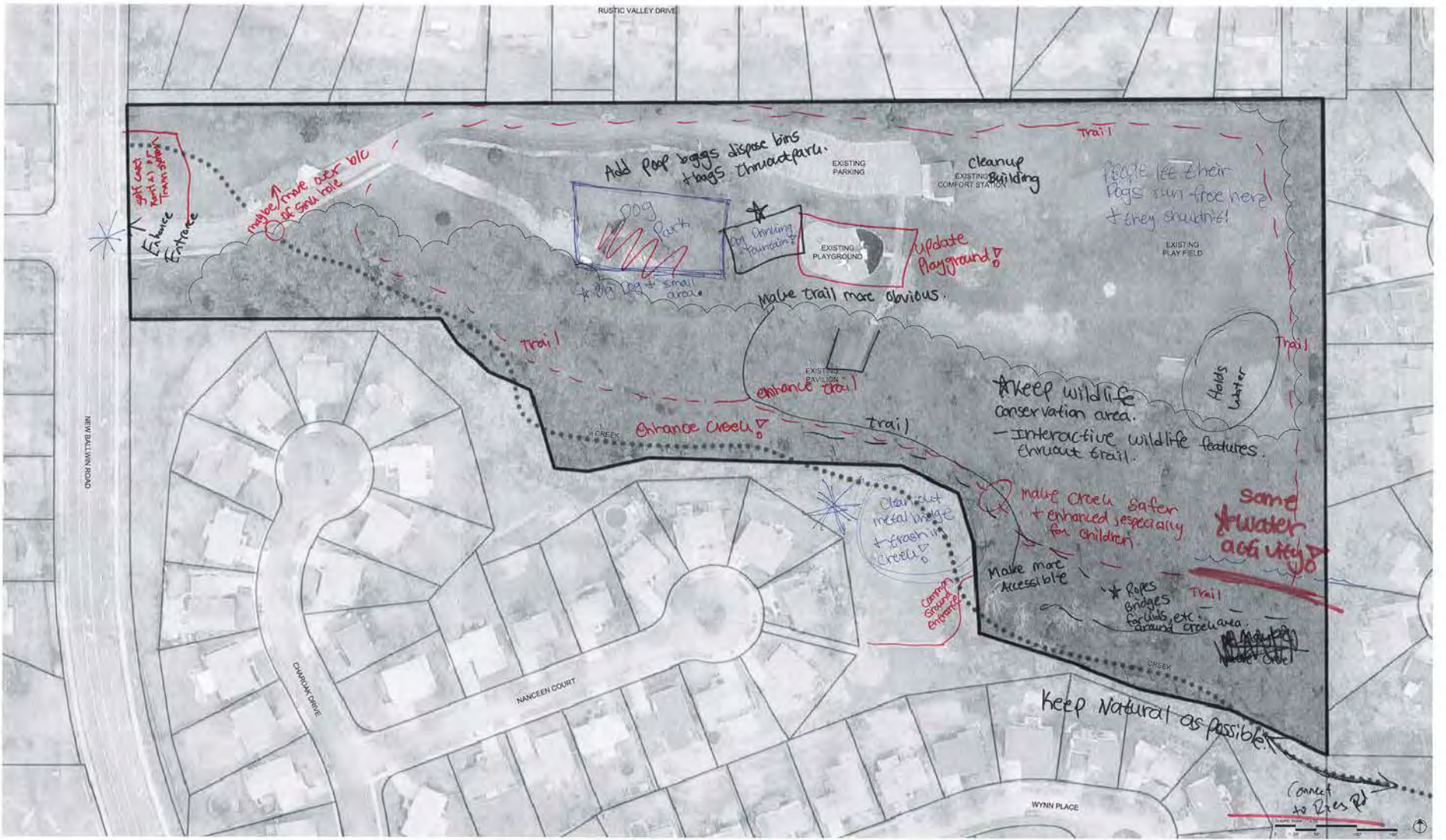


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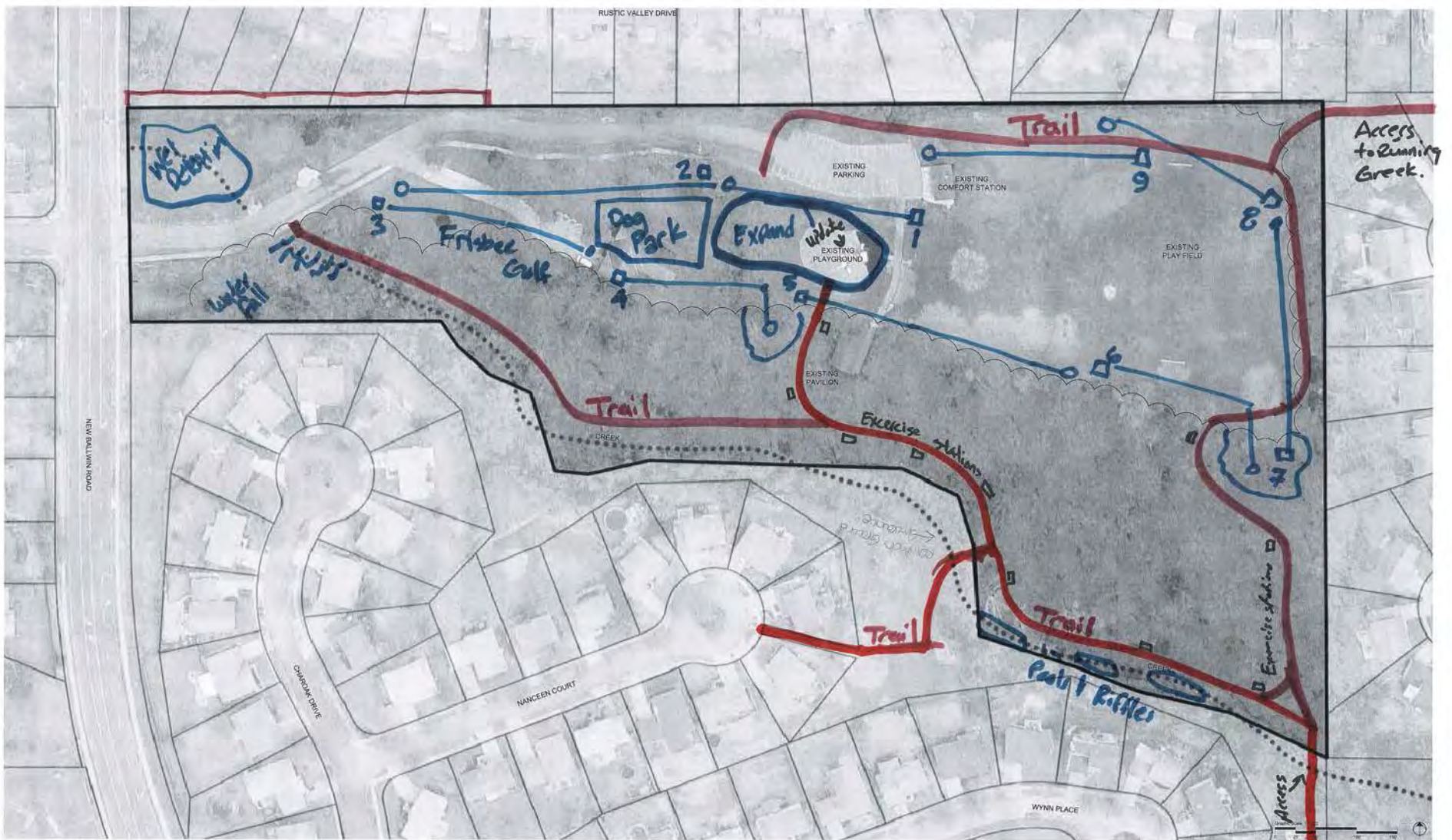
2





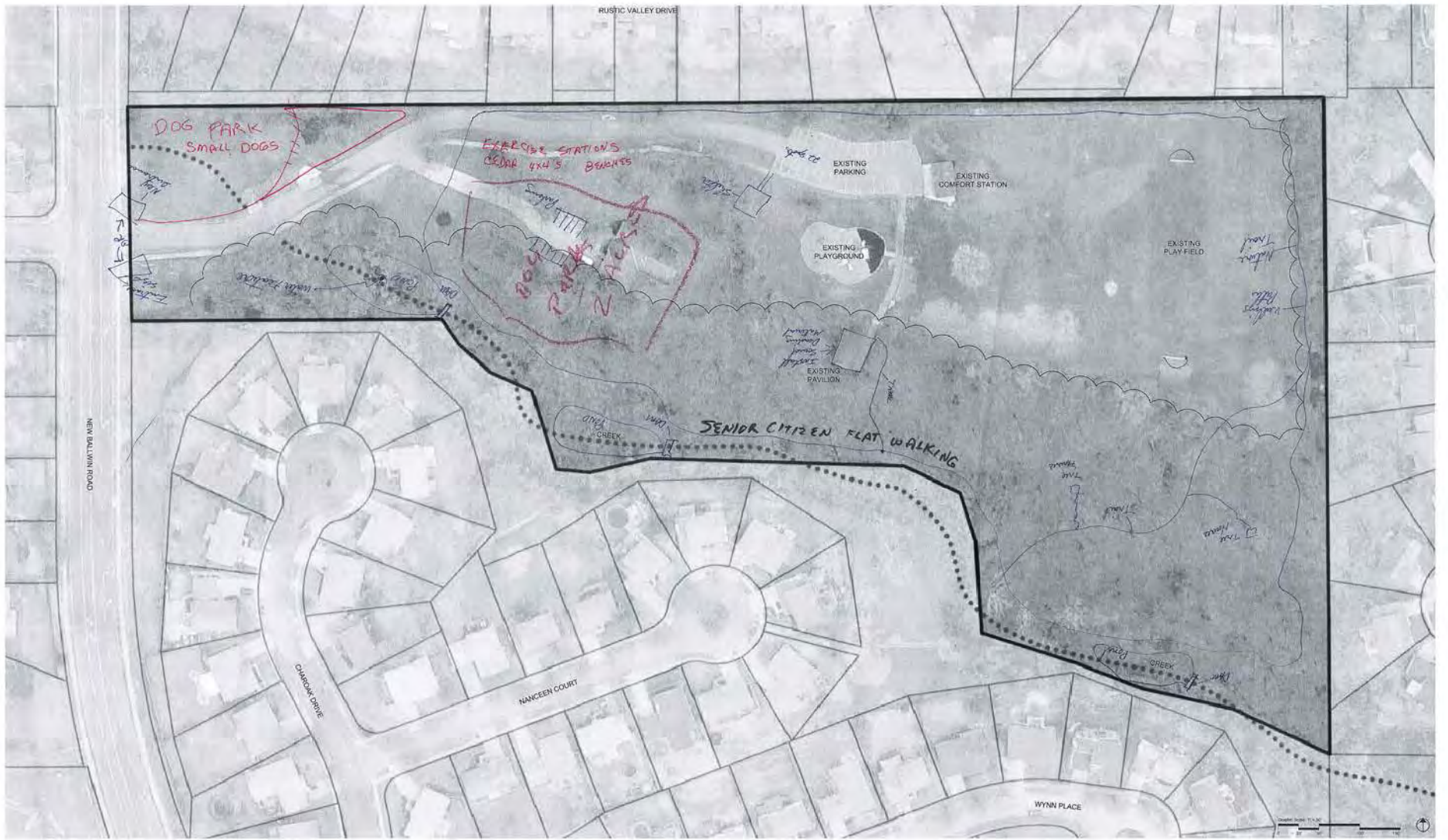
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# Fantasy Ferris Park Land

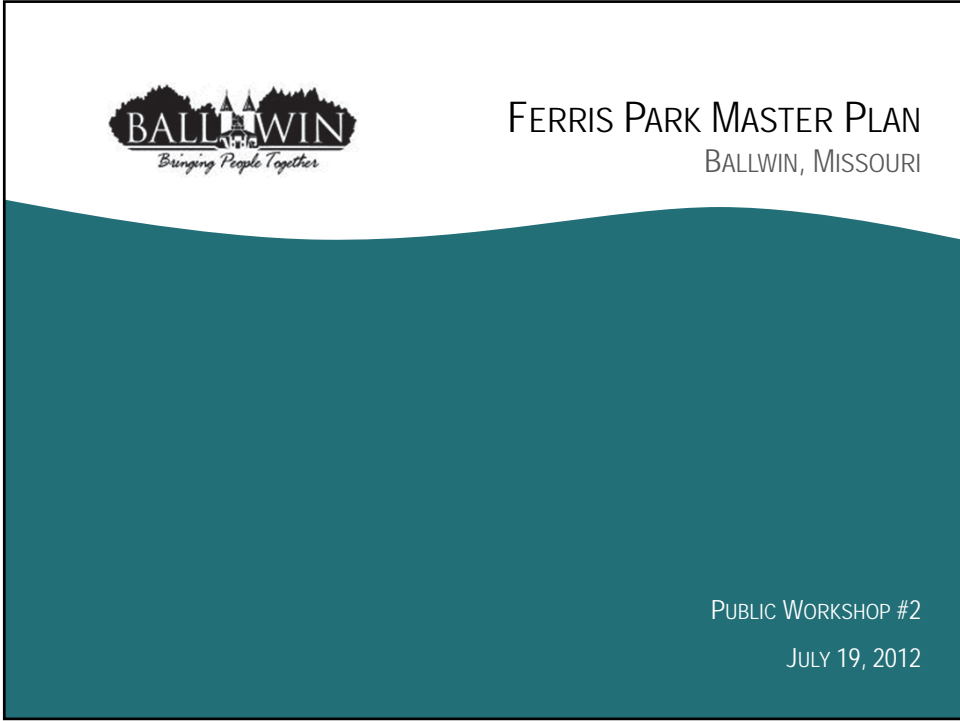


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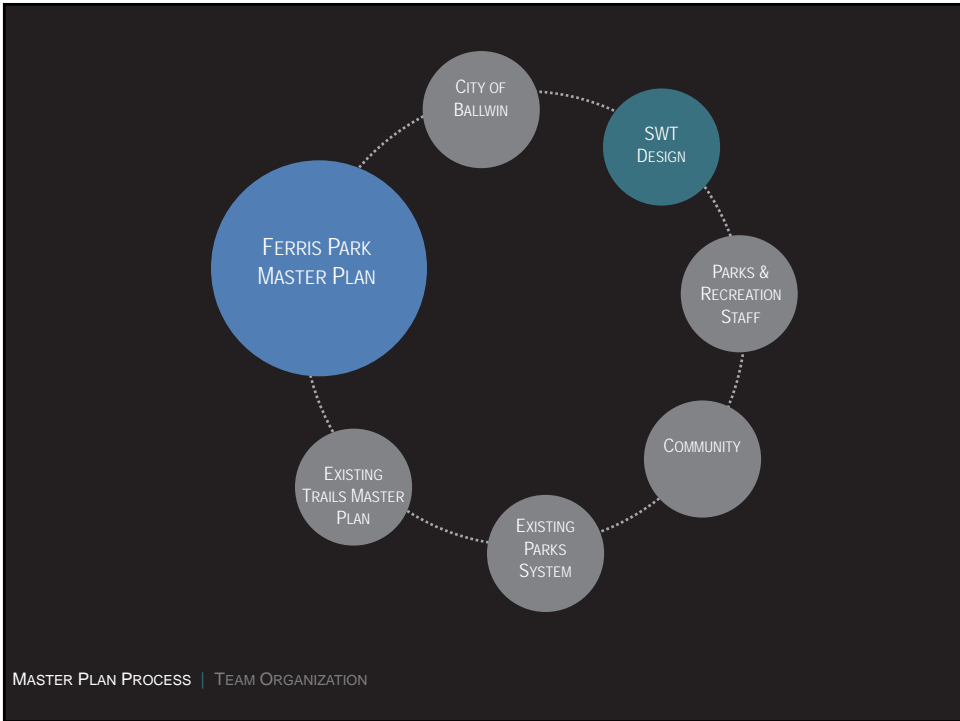




5



The cover features the Ballwin logo on the left, which includes a silhouette of a building and the text "BALLWIN Bringing People Together". To the right, the title "FERRIS PARK MASTER PLAN" is displayed in a large, bold, sans-serif font, with "BALLWIN, MISSOURI" in a smaller font below it. The bottom right corner contains the text "PUBLIC WORKSHOP #2" and "JULY 19, 2012". The background is white at the top, transitioning into a teal wave-like shape that fills the lower two-thirds of the page.



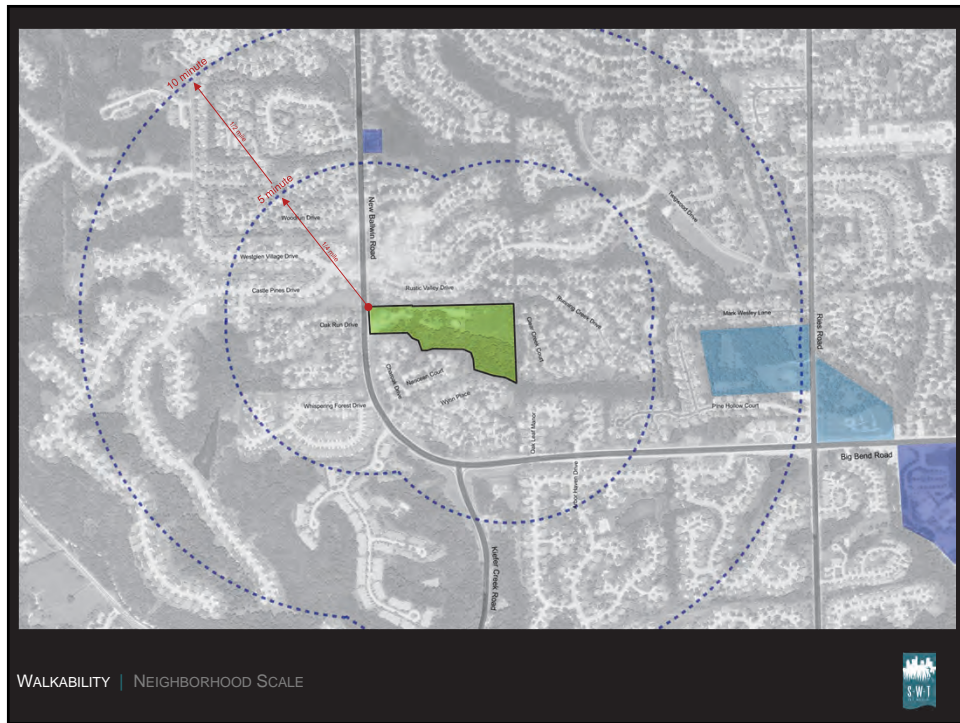
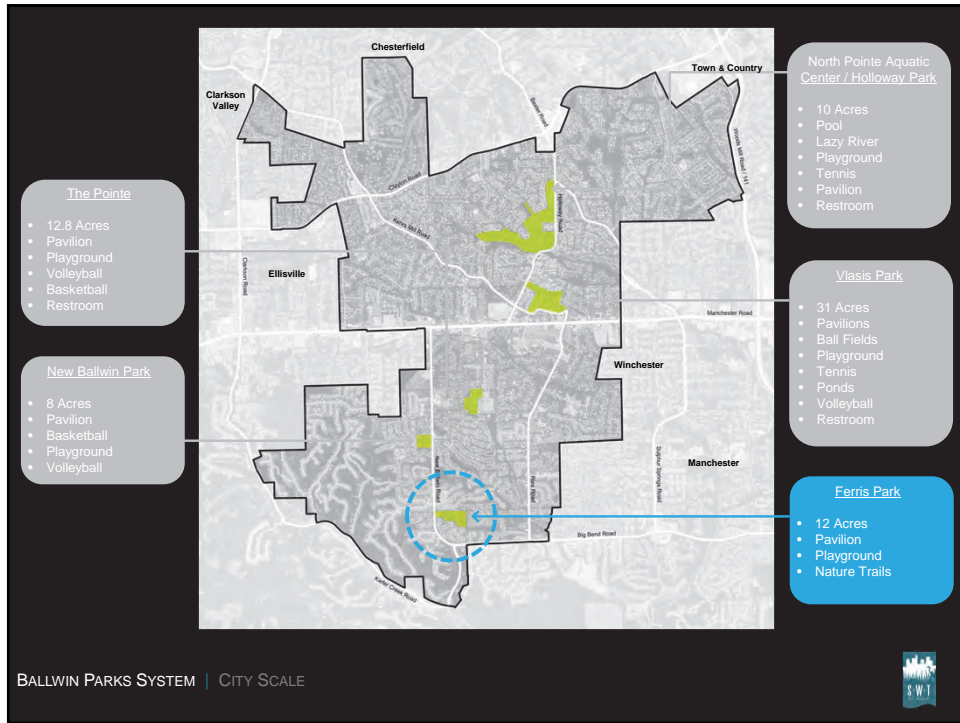


**DATA COLLECTION** → **PROGRAM DEVELOPMENT** → **CONCEPTS** → **FINAL MASTER PLAN**

MASTER PLAN PROCESS | OVERVIEW

	March 2012				April 2012					May 2012			June 2012					July 2012					August 2012				September 2012			
Week Count	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30
Mondays	5	12	19	26	2	9	16	23	30	7	14	21	28	4	11	18	25	2	9	16	23	30	6	13	20	27	3	10	17	24
Notice to Proceed	★																													
<b>Task 1 Initiation &amp; Data Collection</b>	→ (8 weeks)																													
Coordination / Data Collection Meeting					●																									
Data Collection Review Team Meeting												●																		
Public Meeting #1												●																		
Task 1 Deliverable												●																		
<b>Task 2 Master Plan</b>												→ (15 weeks)																		
Design Concepts Review Team Meeting																●														
Public Meeting #2																●														
Final Design/Costs/Phasing Review Team Meeting																				●										
Deliver Final Master Plan																								●						

PROJECT SCHEDULE | FERRIS PARK MASTER PLAN







PUBLIC WORKSHOP #1 – MAY 8, 2012

**CITY OF BALLWIN, MISSOURI**  
**FERRIS PARK MASTER PLAN**  
**PUBLIC WORKSHOP #1 – Community Input Form**  
 May 8, 2012

Your thoughts regarding the master plan for the park are very important in our effort to ensure that your park meets the needs of the community. We would appreciate if you would take the time to answer the following questions. Please return this completed form on your way out this evening, or to the Parks Department of the Parkite no later than Friday, May 18, 2012.

1. What amenities / activities within the park do you and your family currently enjoy?


2. What improvements, changes or additions would you & your family like to see in the park? How would these meet community needs and/or complement the existing recreation opportunities provided within the existing Ballwin Parks System?

3. What other parks within Ballwin or other communities do you and/or your family enjoy visiting? What amenities bring you to these parks?

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 City of Ballwin – Ferris Park Master Plan

What amenities / activities within the park do you and your family currently enjoy?

- Perimeter trail
- Playground
- Baseball / soccer field
- Walking
- Bird watching and listening to nature
- Pavilion for parties / gatherings
- Biking
- Walking the dogs



SUMMARY | PUBLIC WORKSHOP #1

**CITY OF BALLWIN, MISSOURI**  
**FERRIS PARK MASTER PLAN**  
**PUBLIC WORKSHOP #1 – Community Input Form**  
 May 8, 2012

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What improvements, changes, or additions would you and your family like to see in the park?

- Walking / bike trail (loop)
- Keep it natural
- Accessible Playground
- Enhance the creek and trail area
- Dog park / No dog park
- Nature settings – butterfly garden and bird watching
- Improve the soccer field
- Wildlife area
- Connections to other trails / neighborhoods
- Additional parking
- Updated playground
- Expanded trail system
- Exercise stations
- Water features
- Additional shelter
- Natural play areas

SUMMARY | PUBLIC WORKSHOP #1



**CITY OF BALLWIN, MISSOURI**  
**FERRIS PARK MASTER PLAN**  
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1. What amenities / activities within the park do you and your family currently enjoy?

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

2. What improvements, changes or additions would you & your family like to see in the park? How would these meet community needs and/or compliment the existing recreation opportunities provided within the existing Ballwin Park System?

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

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\_\_\_\_\_

3. What other parks within Ballwin or other communities do you and/or your family enjoy visiting? What amenities bring you to these parks?

\_\_\_\_\_

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\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

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 City of Ballwin – Ferris Park Master Plan

What other parks within Ballwin or other communities do you and/or your family enjoy visiting? What amenities bring you to these parks?

- Vlasis Park
  - Tennis, fishing, baseball, sand volleyball, playground, pavilion
- New Ballwin Park
  - Walking paths, lake
- The Pointe
  - Swimming
- Castlewood State Park
  - Trails, hiking
- Bluebird Park
  - Paved trails
- Queeny Park
- Schroeder Park

SUMMARY | PUBLIC WORKSHOP #1

- Keep natural / wildlife
- Bird watching
- Exercise stations
- Water feature
- Enhanced entry with new signage
- Natural play
- Restore woodland vegetation
- Walking and bike paths
- Updated playground
- Pools and riffles along creek

- Shelter adjacent to parking
- Dog park
- Tree houses
- Nature trail
- Frisbee golf
- Accessibility of entire park
- Make the creek safer and enhance appearance
- Rope bridges along creek
- Connections to nearby trails and greenways
- Concerns over creek erosion and steep banks

SUMMARY | PUBLIC WORKSHOP #1

CONCEPT DESIGN



The top section features a technical diagram of a creek stabilization structure. It shows a cross-section of a bank with various layers: 'Live stakes' (bamboo) driven into the soil, 'Triangular fascine' (bundles of brush), 'Existing vegetation, earthlogs, or soil bioengineering techniques', 'Live branch cuttings' (horizontal logs), 'OHW or bankfull' (Ordinary High Water or bankfull line), 'Baseflow' (underlying water flow), 'Streambed', 'Compacted fill material (optional)', and 'Rock fill'. Dimensions are indicated as '3-4' for the fascine height and '4-5' for the structure width. Below the diagram are three photographs: a large view of a creek with a significant bank erosion, a smaller view of a creek with a stone-lined bank, and another view of a creek with a brush fascine structure.

Existing conditions

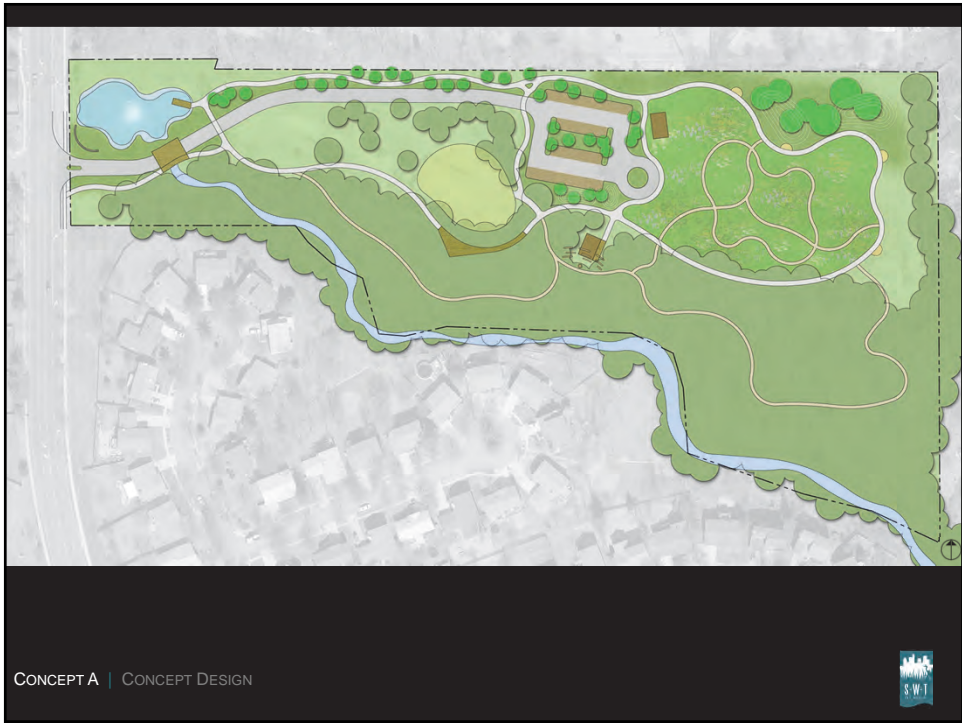
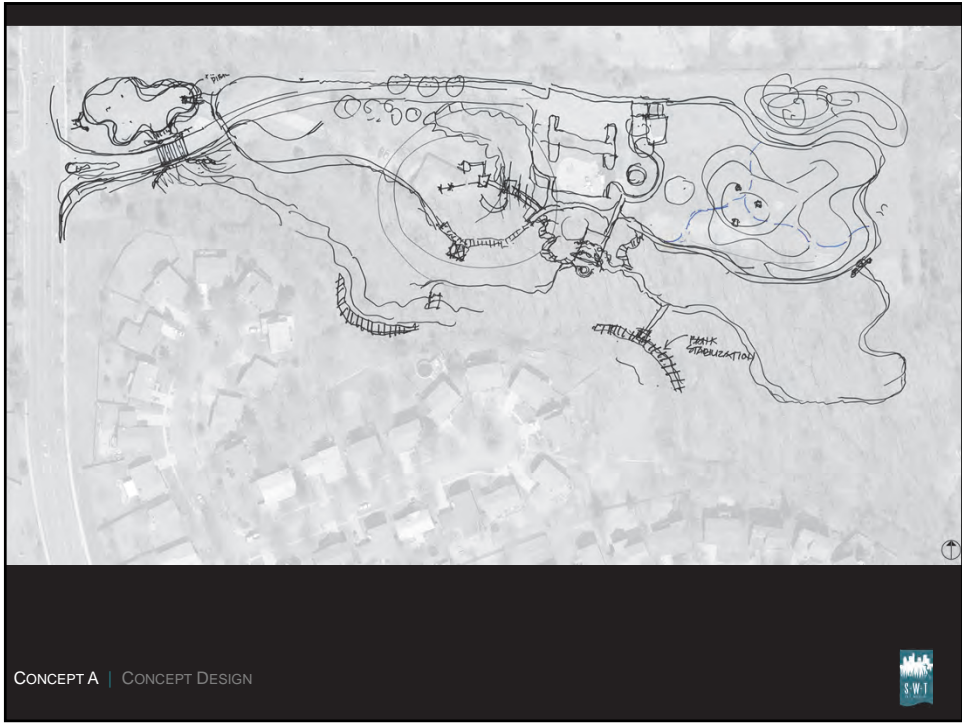
CREEK STABILIZATION | KEY ISSUES

The top row shows two photographs of 'Existing conditions' in a woodland setting. Below this is a grid of ten photographs showcasing various native plants used in woodland restoration: white trilliums, green hepaticas, yellow wildflowers, large-leafed plants, purple irises, blue grasses, ferns, and blue flowers.

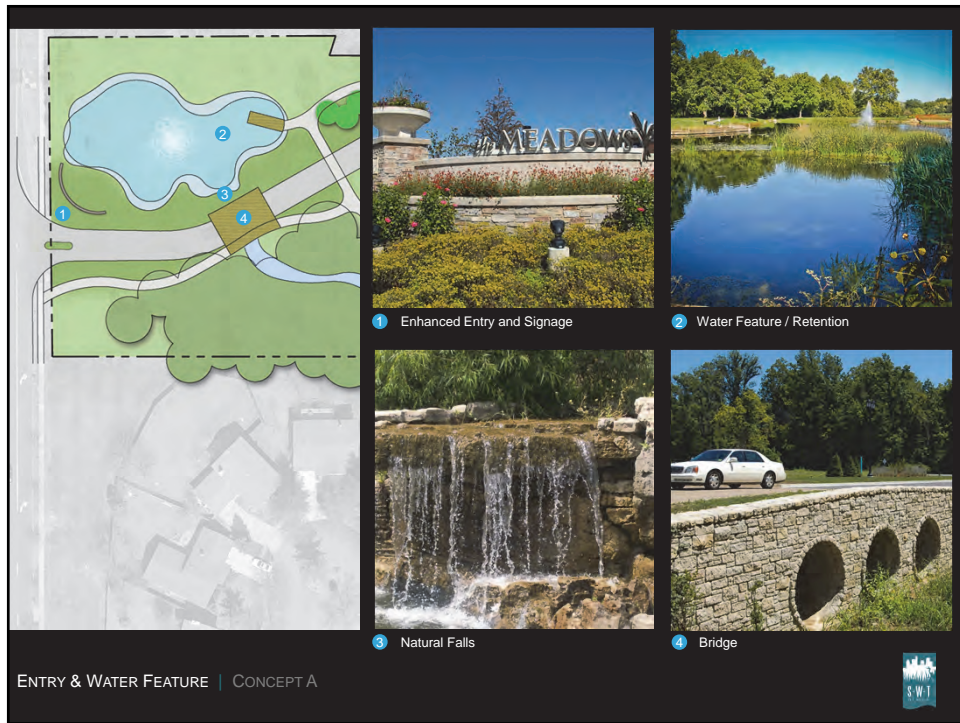
Existing conditions


Existing conditions

WOODLAND RESTORATION | KEY ISSUES












PLAYGROUND | CONCEPT A




1 Multi-purpose Trail




2 Natural Playground



3 Zipline



4 Boardwalk / Treehouse



PARKING LOT | CONCEPT A



1 Sustainable Parking Lot



2 Council Circle



3 Woodland Trail



4 Creek Stabilization





EXISTING COMFORT STATION

1

2

THE MEADOW | CONCEPT A

1 Native Meadow

2 Seating / Bird watching

WATER FEATURE

PLAYGROUND

ECO-PARKING LOT

EXISTING COMFORT STATION

EXISTING PAVILION

THE MEADOW

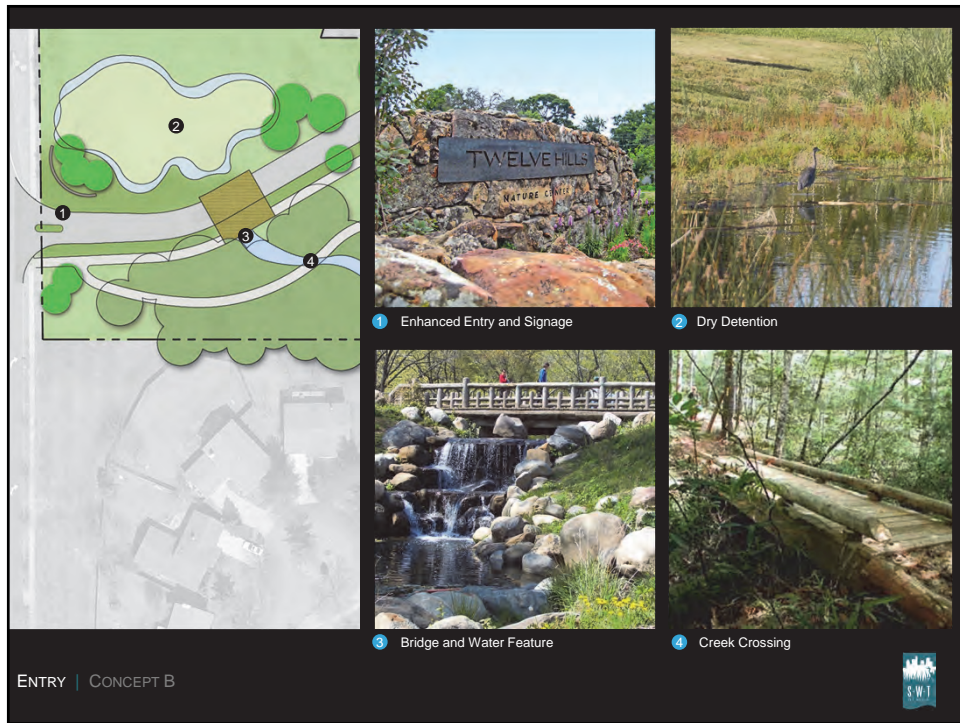
WOODLAND GARDEN


3,400 LF	Paved Loop Trail
2,865 LF	Natural Trails
1.5 acres	Native Meadow
15,000 SF	Play Area
+17 spaces	Parking (45 Total)

CONCEPT A | CONCEPT DESIGN












PLAYGROUND | CONCEPT B




1 Hillside Seating





2 Small Shelter




3 Water Play




4 Rocks and Ropes Playground




GREEN PARKING LOT | CONCEPT B




1 Biofiltration Garden




2 Permeable Pavers



3 Landforms



4 Pedestrian Bridge Crossing







EXISTING COMFORT STATION

1

2


THE GREEN | CONCEPT B



1 Playfield



2 Loop Trail




EXISTING COMFORT STATION


1

2


THE GREEN | CONCEPT B



1 Tree house Overlook



2 Woodland Garden and Trail







Ferris Park Master Plan  
Public Input Forum #2 - Sign In Sheet  
July 19, 2012

Name

Address

Email

Eric Tannas

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\_\_\_\_\_

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Ferris Park Master Plan  
Public Input Forum #2 – Sign In Sheet  
July 19, 2012

Name	Address	Email
Tiffany Tannas	749 Woodrun Dr	TiffanyTannas@att.net
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# CITY OF BALLWIN, MISSOURI

## FERRIS PARK MASTER PLAN PUBLIC WORKSHOP #2 – Community Input Form July 19, 2012

Your thoughts regarding the master plan for the park are very important in our effort to ensure that your park meets the needs of the community. We would appreciate if you would take the time to answer the following questions. Please return this completed form on your way out this evening, or to the Parks Department at the Pointe no later than Friday August 3, 2012.

1. We appreciate your attendance at this evening's Workshop. Did you attend the first public workshop on May 8, 2012? What improvements / changes would you like to see in the park?

*Had not attend*

2. What do you like about Concept Design #1? What components of the concept would you like to see incorporated into the final master plan and why?

*Water park at entrance*

3. What do you *not* like about Concept Design #1? What components of the concept would you not like to see incorporated into the final master plan and why?

*Meadows*

4. What do you like about Concept Design #2? What components of the concept would you like to see incorporated into the final master plan and why?

*field*

5. What do you *not* like about Concept Design #2? What components of the concept would you not like to see incorporated into the final master plan and why?

*Water area at entrance*

6. Are there any items you did not see on the concepts or that were not discussed that you would like to see in the master plan?

*Consider concept "C" creation taking the water park from A & the field from B  
From a practical & financial point of view use available funds & grants to redevelop the park first to keep it in use*



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*City of Ballwin – Ferris Park Master Plan*





CITY OF BALLWIN, MISSOURI

Sue Phillips  
3867423

FERRIS PARK MASTER PLAN

PUBLIC WORKSHOP #2 – Community Input Form

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- 1. We appreciate your attendance at this evening's Workshop. Did you attend the first public workshop on May 8, 2012? What improvements / changes would you like to see in the park?

Yes I attended the first workshop

- 2. What do you like about Concept Design #1? What components of the concept would you like to see incorporated into the final master plan and why?

I like alot of parking, Not sure what is the right #.

One main ~~to~~ trails ~~be~~ paved enough for bikes & wheelchairs. Also the trails for walking are important but don't have to be raised unless absolutely necessary.

You should be able to jump off the walkway at just about every place. Also add small lookout areas along the way. I like the walk way going all around the outside especially behind the bathrooms for kid safety.

- 3. What do you not like about Concept Design #1? What components of the concept would you not like to see incorporated into the final master plan and why?

Probably need to keep field for soccer, etc. Frisbee is great Sun.

Need Small bathroom by playground

Exercise stations

4. What do you like about Concept Design #2? What components of the concept would you like to see incorporated into the final master plan and why?

The field is great

Lots of adventure on trails

Kids adventure places spread out

5. What do you not like about Concept Design #2? What components of the concept would you not like to see incorporated into the final master plan and why?

Need small bathroom by playground - substitute for extra pavillion  
dry ditch, should be water feature - if needed and just have tables  
by playground

Handicap/stroller accessibility to 2 or 3 major stations (ex. birdwatching) from main paved path.

6. Are there any items you did not see on the concepts or that were not discussed that you would like to see in the master plan?

Dog water fountain or place to fill a bowl.  
~~shelter near the green~~

Sign that has picture of birds that travel there so they can look for them.

Playground mini zipline, swings, monkey bars - overhead rock climbing wall safety determines height, hand to hand rope swing, balance beam, lots of slides, climbing water fountain

Small bathroom by playground. Do away with second pavillion and just use tables if needed.



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1. We appreciate your attendance at this evening's Workshop. Did you attend the first public workshop on May 8, 2012? What improvements / changes would you like to see in the park?

- first time

2. What do you like about Concept Design #1? What components of the concept would you like to see incorporated into the final master plan and why?

~~the expanded trails~~ the expanded trails, the meadow, expanded parking, keeping the pavilion, water regulation, thinning the woods of gum (help trees) the addition and expansion of trails; parking lot drainage, ~~water table~~ Decked trail

3. What do you *not* like about Concept Design #1? What components of the concept would you not like to see incorporated into the final master plan and why?

→ security/criminal activity in the "classroom" under the pavilion  
- the pictures of proposed flowers looked like a buffet of flowers  
- I like wildlife but not permitting growing wildlife  
- No Security Gate

6

4. What do you like about Concept Design #2? What components of the concept would you like to see incorporated into the final master plan and why?

additional parking, parking lot drainage, additional creeks/streams, wood overlooks, the additional pavilion/shelter, the rock playground, mounding

5. What do you *not* like about Concept Design #2? What components of the concept would you not like to see incorporated into the final master plan and why?

lack of trails, the grassy area, Dry Detention

I like the naturalness of plan #1

6. Are there any items you did not see on the concepts or that were not discussed that you would like to see in the master plan?

- I like the auxiliary shelter outside

- Add electric to pavilion

- the field is too small, South Ballwin is all about nature keep it natural and ditch the soccer field

- The lack of security feature/gate on both plans

- Distance from restroom to features is fine as is

- I would like to see a raised tower of observation area overlooking the meadows

- If the subdivision/homeowners are not maintaining or cannot afford to maintain the creeks, Ballwin should Annex. Also look at getting the land south along New Ballwin.



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City of Ballwin - Ferris Park Master Plan





# CITY OF BALLWIN, MISSOURI

## FERRIS PARK MASTER PLAN

### PUBLIC WORKSHOP #2 – Community Input Form

July 19, 2012

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1. We appreciate your attendance at this evening's Workshop. Did you attend the first public workshop on May 8, 2012? What improvements / changes would you like to see in the park?

*Did not attend 5/8/12 session*

2. What do you like about Concept Design #1? What components of the concept would you like to see incorporated into the final master plan and why?

*water/retention pond - look alive - water is refreshing*

*scenic overlook - different path ways add variety*

*learning area near pavilion - comfortable area - ~~also~~ secluded*

*need ~~also~~ electric available in pavilion*

3. What do you not like about Concept Design #1? What components of the concept would you not like to see incorporated into the final master plan and why?

*burns around road*

*lack of adult area surrounding playground*

*area around playground needs more thought (safety)*

4. What do you like about Concept Design #2? What components of the concept would you like to see incorporated into the final master plan and why?

The entrance bridge

like the beams

tree house

the position of the parking lot - more fluid more trees  
shelter near playground

5. What do you *not* like about Concept Design #2? What components of the concept would you not like to see incorporated into the final master plan and why?

dry lake area - looks unkempt

"the green" area. — remove soccer field and goal posts  
water additional streams

6. Are there any items you did not see on the concepts or that were not discussed that you would like to see in the master plan?

dog drinking area

If the surrounding subdivisions do not <sup>have</sup> resources to maintain the creek - should subdivisions consider donating common ground to the park for city maintenance.



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City of Ballwin - Ferris Park Master Plan





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1. We appreciate your attendance at this evening's Workshop. Did you attend the first public workshop on May 8, 2012? What improvements / changes would you like to see in the park?

yes.

Creek Restoration!

2. What do you like about Concept Design #1? What components of the concept would you like to see incorporated into the final master plan and why?

- The water feature + front water body.
- Trail system + woodland trail.
- Boardwalk.
- Creek Stabilization.
- Educational signage.

3. What do you *not* like about Concept Design #1? What components of the concept would you not like to see incorporated into the final master plan and why?

- The meadow → seems pointless and you lose the sports area which is the main reason people currently use the park.

4. What do you like about Concept Design #2? What components of the concept would you like to see incorporated into the final master plan and why?

- overlook; Treehouse
- The Green; Playfield.
- Bridge + creek crossing.
- Focus + Ropes Playground.
- Waterplay.
- Loop trail.
- parking system.

5. What do you *not* like about Concept Design #2? What components of the concept would you not like to see incorporated into the final master plan and why?

Dry Detention?

6. Are there any items you did not see on the concepts or that were not discussed that you would like to see in the master plan?

Doggie Drinking Fountain.

Change Restrooms.



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*City of Ballwin – Ferris Park Master Plan*





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1. We appreciate your attendance at this evening's Workshop. Did you attend the first public workshop on May 8, 2012? What improvements / changes would you like to see in the park?

YES - MY WIFE ATTENDED THE FIRST MEETING - WE ATTENDED THIS ONE TOGETHER

2. What do you like about Concept Design #1? What components of the concept would you like to see incorporated into the final master plan and why?

WATER FEATURES - WOODLAND RESTORATION - NOISE ABATEMENT  
MINIMAL LIGHTING - EDUCATIONAL SIGNAGE - BIRD HOUSES / BAT HOUSES  
TRAIL OVERLOOK  
SEATING AREAS ALONG TRAILS  
EROSION CONTROL  
MINIMAL LIGHTING  
BIOFILTRATION GARDEN

3. What do you *not* like about Concept Design #1? What components of the concept would you not like to see incorporated into the final master plan and why?

SEATING AREA UNDER EXISTING PAULION

4. What do you like about Concept Design #2? What components of the concept would you like to see incorporated into the final master plan and why?

EARLY ENTRY INTO WOODLAND TRAIL  
NATURAL PLAY (ROCKS & ROPES PLAYGROUNDS)  
BIO FILTRATION GARDEN  
MINIMAL LIGHTING

5. What do you *not* like about Concept Design #2? What components of the concept would you not like to see incorporated into the final master plan and why?

DRY LAKE BED / WET LAND AREA

6. Are there any items you did not see on the concepts or that were not discussed that you would like to see in the master plan?

NATURAL PAVILION - TWO SIDE W/ROOF EDUCATIONAL DISPLAYS FOR MAMMALS / SMALL ANIMAL ON ONE SIDE  
BIRDS ON THE OTHER SIDE

WOULD LIKE TO SEE "FINAL" CONCEPT DESIGN  
OPTION TO GIVE FURTHER INPUT



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City of Ballwin - Ferris Park Master Plan





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1. We appreciate your attendance at this evening's Workshop. Did you attend the first public workshop on May 8, 2012? What improvements / changes would you like to see in the park?

did not attend 5/8  
like paths & natural setting.

2. What do you like about Concept Design #1? What components of the concept would you like to see incorporated into the final master plan and why?

paved paths  
natural paths

3. What do you *not* like about Concept Design #1? What components of the concept would you not like to see incorporated into the final master plan and why?

4. What do you like about Concept Design #2? What components of the concept would you like to see incorporated into the final master plan and why?

Keep Field (great for ball, frisbee etc)  
Eco parking lot that drains

5. What do you *not* like about Concept Design #2? What components of the concept would you not like to see incorporated into the final master plan and why?

dry water features

6. Are there any items you did not see on the concepts or that were not discussed that you would like to see in the master plan?

Playground does need to be close to restroom



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1. We appreciate your attendance at this evening's Workshop. Did you attend the first public workshop on May 8, 2012? What improvements / changes would you like to see in the park?

Yes I attended - Where is the dog park area we talked about?

2. What do you like about Concept Design #1? What components of the concept would you like to see incorporated into the final master plan and why?

I like #1 with a play area of the "Green" adjacent

3. What do you *not* like about Concept Design #1? What components of the concept would you not like to see incorporated into the final master plan and why?

It doesn't have the "Green"

I would like to see a dog area

No big play area to run and play soccer

4. What do you like about Concept Design #2? What components of the concept would you like to see incorporated into the final master plan and why?

I like the "Green" area

I like the water falls and bridges

5. What do you *not* like about Concept Design #2? What components of the concept would you not like to see incorporated into the final master plan and why?

More shelters for parties

6. Are there any items you did not see on the concepts or that were not discussed that you would like to see in the master plan?

Dog area

Play areas in the woods w/ exercise stopping area

Sound leading to the Pavilion

Small unisex Bathroom by Playground



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City of Ballwin - Ferris Park Master Plan





# CITY OF BALLWIN, MISSOURI

## FERRIS PARK MASTER PLAN

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1. We appreciate your attendance at this evening's Workshop. Did you attend the first public workshop on May 8, 2012? What Improvements / changes would you like to see in the park?

Yes, Accessibility

2. What do you like about Concept Design #1? What components of the concept would you like to see incorporated into the final master plan and why?

- walking trails & exercise stations give purpose
- wood garden makes wildlife pretty & viewable
- water makes flooding less of a problem
- turn around ~~stuff~~ parking is easy
- board walk is fun

3. What do you *not* like about Concept Design #1? What components of the concept would you not like to see incorporated into the final master plan and why?

- Meadow gets rid of soccer field
- is the board walk accessible?

4. What do you like about Concept Design #2? What components of the concept would you like to see incorporated into the final master plan and why?

- 2 circles give more ways to go on a walk
- The green gives defined play area and cleans park up
- water keeps cool and is different + unique
- man-made creek provides learning

5. What do you *not* like about Concept Design #2? What components of the concept would you not like to see incorporated into the final master plan and why?

- Dry detention may be ugly in dry season
- No access in rock + water play for disabled
- steep places in trail are hard for some people to get through

6. Are there any items you did not see on the concepts or that were not discussed that you would like to see in the master plan?

There should be a better way for disabled people or strollers to get through trails and play areas.



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*City of Ballwin - Ferris Park Master Plan*





# CITY OF BALLWIN, MISSOURI

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1. We appreciate your attendance at this evening's Workshop. Did you attend the first public workshop on May 8, 2012? What improvements / changes would you like to see in the park?

*Yes / Attended the first workshop.*

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2. What do you like about Concept Design #1? What components of the concept would you like to see incorporated into the final master plan and why?

*Water permeable parking, Truvel System,*

*Natural feel to the park*

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3. What do you *not* like about Concept Design #1? What components of the concept would you not like to see incorporated into the final master plan and why?

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4. What do you like about Concept Design #2? What components of the concept would you like to see incorporated into the final master plan and why?

Zone Areas, water permeable parking  
Trail System loops

Multi-use field, zoning of areas

5. What do you *not* like about Concept Design #2? What components of the concept would you not like to see incorporated into the final master plan and why?

6. Are there any items you did not see on the concepts or that were not discussed that you would like to see in the master plan?

Sound barrier to reduce noise to  
surrounding neighborhoods



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1. We appreciate your attendance at this evening's Workshop. Did you attend the first public workshop on May 8, 2012? What improvements / changes would you like to see in the park?

yes

noise reduction in pavillion

erosion control for Oak Hill Subdivision

2. What do you like about Concept Design #1? What components of the concept would you like to see incorporated into the final master plan and why?

prative meadow

seating / bird watching

water element

3. What do you not like about Concept Design #1? What components of the concept would you not like to see incorporated into the final master plan and why?

playground moving closer behind our house.

If we already have so much noise from

the pavillion we can't use our yard/deck

on weekends due to noise.

4. What do you like about Concept Design #2? What components of the concept would you like to see incorporated into the final master plan and why?

Woodland Garden  
Bridge & water feature  
rocks & ropes playground  
permeable pavers  
the green

5. What do you *not* like about Concept Design #2? What components of the concept would you not like to see incorporated into the final master plan and why?

dry detention

6. Are there any items you did not see on the concepts or that were not discussed that you would like to see in the master plan?

Need coordination of erosion control  
with Oak Hill Subdivision & residents

① NOISE REDUCTION!!

② EROSION CONTROLS ON  
BOTH SIDES



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City of Ballwin - Ferris Park Master Plan





# CITY OF BALLWIN, MISSOURI

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1. We appreciate your attendance at this evening's Workshop. Did you attend the first public workshop on May 8, 2012? What improvements / changes would you like to see in the park?

Yes I really like #1

I think you did a great job

The creek on both sides need to be shored up/

There are a lot of trees along the creek leaning/falling into the creek & will need to be removed.

2. What do you like about Concept Design #1? What components of the concept would you like to see incorporated into the final master plan and why?

I like #1 w/ the addition of the lower bridge at entrance on #2.

I love the natural meadow

I love the water @ the entrance, not dry  
The tree house would be great w/ kids

3. What do you *not* like about Concept Design #1? What components of the concept would you not like to see incorporated into the final master plan and why?

Pretty much like all of #1 😊

4. What do you like about Concept Design #2? What components of the concept would you like to see incorporated into the final master plan and why?

Lower walking bridge along road

5. What do you *not* like about Concept Design #2? What components of the concept would you not like to see incorporated into the final master plan and why?

I think the nature meadow is nicer; promotes a calmer park ☺

6. Are there any items you did not see on the concepts or that were not discussed that you would like to see in the master plan?

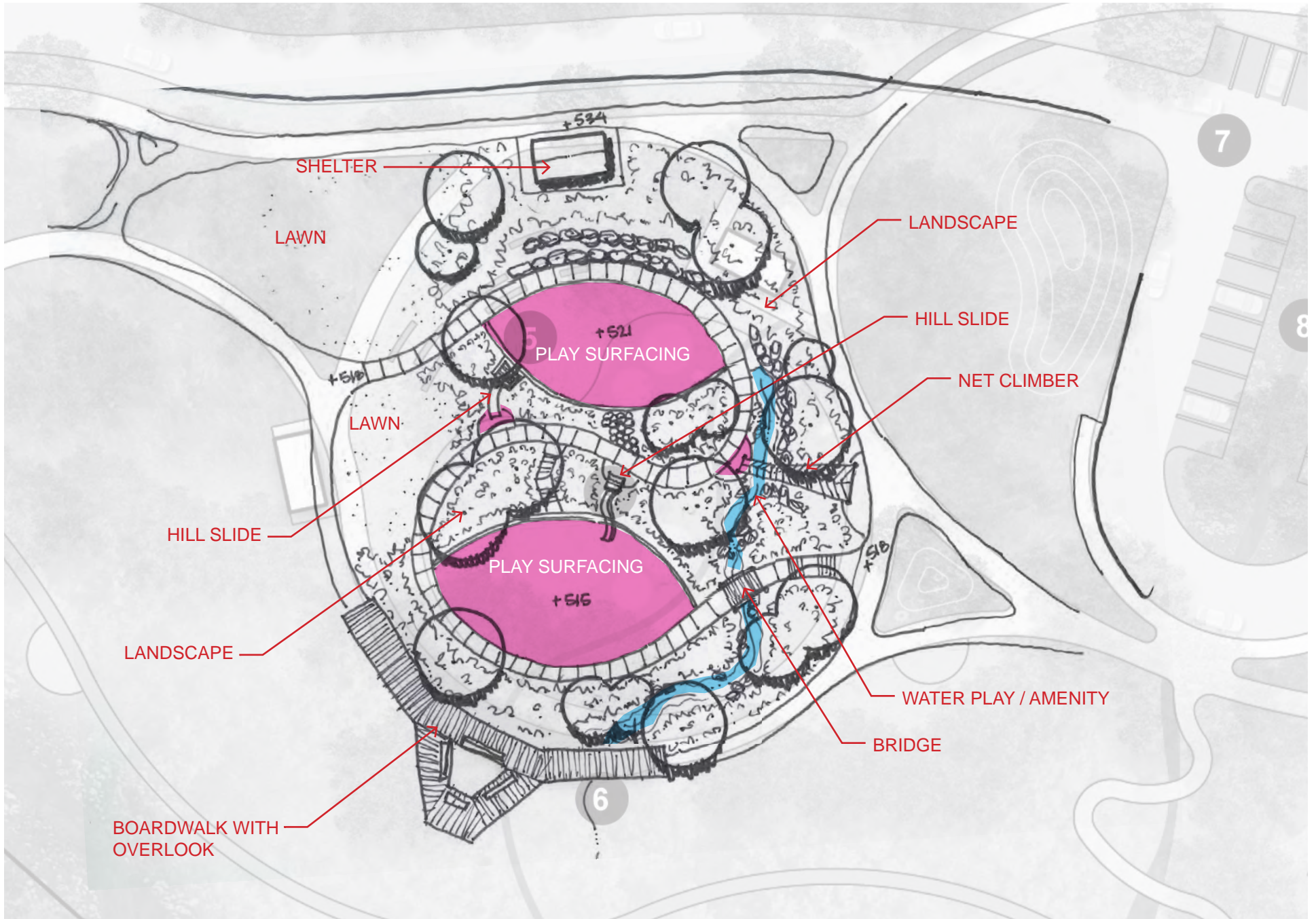


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*City of Ballwin – Ferris Park Master Plan*





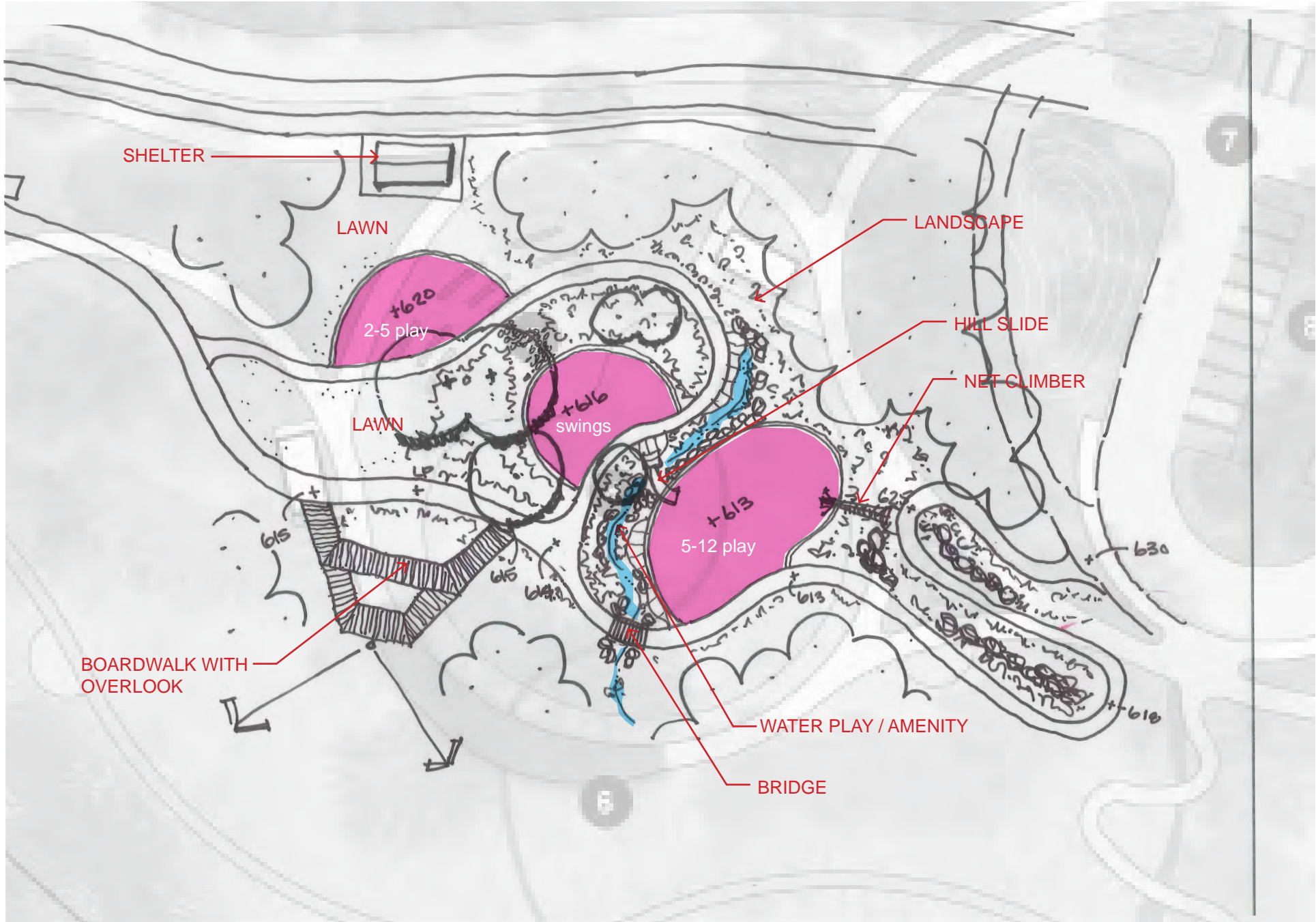


# PLAYGROUND DESIGN CONCEPT

FERRIS PARK MASTER PLAN | BALLWIN, MO

SEPTEMBER 12, 2012





# PLAYGROUND DESIGN CONCEPT - REVISED

FERRIS PARK MASTER PLAN | BALLWIN, MO

OCTOBER 12, 2012



# Ferris Park Master Plan

Ballwin, Missouri



## Phase One Playground Improvements Cost Opinion

October 12, 2012

### 2 Nature Exploration Playground

Item	Quantity	Unit	Unit Cost	Subtotal	Notes
Demolition and Site Preparation	1	al	\$8,250.00	\$8,250.00	tree protection; tree removal; asphalt drive removal
Playground Equipment and Surfacing; Furnishings	1	al	\$242,000.00	\$242,000.00	play equipment; wood fiber surfacing with under drainage; installation
Custom Rope and Climber Play Elements	0	al	\$50,000.00	\$0.00	future phase - rope bridge and stump steppers
Small Shelter	1	ea	\$27,500.00	\$27,500.00	two table picnic structure with architectural detail
Composting Restroom	0	al	\$100,000.00	\$0.00	future phase
Water Play Feature	1	al	\$55,000.00	\$55,000.00	stream with live feed water and user activation
Boardwalk / Overlook Structure	1	al	\$150,000.00	\$150,000.00	elevated overlook of woodland and creek
Demolition / Grading / Landforms	1	al	\$27,500.00	\$27,500.00	site grading
Concrete Pedestrian Paving and Playground Headers	5,800	sf	\$8.25	\$47,850.00	600 linear feet walk; 330 linear feet headers; 665 SF pads
Drinking Fountain	1	al	\$7,500.00	\$7,500.00	drinking fountain near shelter; benches, trash, and bike racks
Stone Amphitheater / Outdoor Classroom	0	al	\$50,000.00	\$0.00	future phase - stone or wood hillside seating and small stage space
Landscape	1	al	\$16,500.00	\$16,500.00	trees and understory; additional landscape in future phases

**Subtotal \$582,100.00**

**Subtotal: \$582,100.00**

Topographic Site Survey \$5,000.00  
 10% Design, Engineering, and Permit Submittal Fee \$58,210.00

**Grand Total: \$645,310.00**

Notes:

1. Cost Opinion is based on 2012 costs.
2. Cost Opinion does not include site utilities & infrastructure.
3. Design Fees do not include MSD water quality improvements and review. It is anticipated that this project will not exceed the one acre threshold for implementing these requirements. If necessary, an additional service proposal will be provided by SWT Design.

**KEY**

ea - each  
 lf - linear foot  
 ls - lump sum  
 sf - square foot  
 al - allowance

sf/f - square foot of wall face  
 cy - cubic yard  
 sy - square yard  
 NIC - not in contract  
 Cal - caliper



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